

City of San Jose - Building Division - Index Cover

Address 3690 STEVENS CREEK BL

PLAN CHECK PERMIT BEP 16-114751

Prepared By MB Page # Date 04-25-16

Category	Document Type	Sub Document Type
<input type="checkbox"/> MP Tracts	<input type="checkbox"/> PP Plot Plans	
	<input type="checkbox"/> TP Tract Plans	<input type="checkbox"/> BD Building <input type="checkbox"/> PB Plumbing <input type="checkbox"/> MM Mechanical <input type="checkbox"/> EE Electrical
	<input type="checkbox"/> TD Supporting Documents	
	<input type="checkbox"/> TC Structural Calculations	
	<input type="checkbox"/> TN Energy Calculations	
	<input type="checkbox"/> TS Soils Report	
	<input type="checkbox"/> TT Trusses/Shop Drawings	
	<input type="checkbox"/> TM Tract Map	<input type="checkbox"/> AR Addressed
<input checked="" type="checkbox"/> PL Plans	<input type="checkbox"/> PY Preliminary Plans	
	<input checked="" type="checkbox"/> EP Plans	<input checked="" type="checkbox"/> BL Building <input type="checkbox"/> BP Plumbing <input type="checkbox"/> BM Mechanical <input type="checkbox"/> BE Electrical
	<input type="checkbox"/> PM Parcel Map	
	<input type="checkbox"/> AM Alternate Materials	
	<input type="checkbox"/> SC Structural Calculations	
	<input type="checkbox"/> EC Energy Calculations	
	<input type="checkbox"/> SD Supporting Documents	
	<input type="checkbox"/> SR Soils Report	
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	<input type="checkbox"/> PR Permits & Applications	<input type="checkbox"/> CC Cash Receipts / Refunds <input type="checkbox"/> CO C of O <input type="checkbox"/> CP Correspondence <input type="checkbox"/> EX Expired / Voided <input type="checkbox"/> FI Finals <input type="checkbox"/> IN Initial <input type="checkbox"/> IS Initial – Supporting Doc's <input type="checkbox"/> MR Meter Releases <input type="checkbox"/> SI Special Inspection Reports
	<input type="checkbox"/> CF Compliance Files	<input type="checkbox"/> CN Compliance Notices <input type="checkbox"/> RS Rescind <input type="checkbox"/> SW Stop Work Orders
	<input type="checkbox"/> DR Damage Reports	<input type="checkbox"/> ED Earthquake Damage <input type="checkbox"/> FD Flood Damage <input type="checkbox"/> FA Fire/Auto Survey <input type="checkbox"/> IV Investigation Survey

Taco Bell

New Image Live Mas Remodel For M70H



3690 STEVENS CREEK BLVD
SAN JOSE, CA 95117

- A. ALL WORK SHALL CONFORM TO THE 2013 EDITION OF THE CBC AND ALL OTHER APPLICABLE CODES, STANDARDS, AND REGULATIONS OF THE CITY OF SAN JOSE, COUNTY OF SANTA CLARA.
- B. IT IS INTENDED THAT A COMPLETE OCCUPIABLE BUILDING PROJECT IS PROVIDED.
- D. SIGNS UNDER A SEPARATE PERMIT.
- F. DO NOT SCALE THESE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO STARTING WORK.
- G. ALL PROPOSED SUBSTITUTIONS SHALL BE APPROVED BY THE ARCHITECT, IN WRITING, PRIOR TO INSTALLATION.
- H. RETAIN THE PROJECT GEOTECHNICAL ENGINEER TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING (INCLUDING UTILITY TRENCHES) AND FOUNDATION PHASE OF CONSTRUCTION AS RECOMMENDED IN THE GEOTECHNICAL REPORT. ALL TESTING AND INSPECTION REPORTS, INCLUDING FINAL SUMMATION LETTER, SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND OWNER. G.C. SHALL CERTIFY PAD ELEVATION PRIOR TO START OF FOUNDATION WORK.
- I. SUBMIT PAY FEES AND OBTAIN ALL PERMITS ASSOCIATED WITH THE PROJECT EXCEPT GENERAL BUILDING PERMIT. THIS INCLUDES, BUT IS NOT LIMITED TO ELECTRICAL, MECHANICAL, PLUMBING, FIRE SPRINKLER, HOOD ANSUL, OR OTHER RELATED FIRE PERMITS, ENCROACHMENT PERMIT, ETC. YUM BRANDS WILL PAY FOR "CONNECTION FEES" ASSOCIATED WITH UTILITY PERMITS. PAY FOR TEMPORARY FACILITIES FEES AS REQUIRED TO COMPLETE THE WORK IN A TIMELY MANNER.
- J. PROVIDE EACH SUBCONTRACTOR WITH A COMPLETE AGENCY-PERMITTED DRAWING SET AT TIME OF CONSTRUCTION.
- K. ALL ABBREVIATIONS INCLUDED FOLLOW INDUSTRY STANDARDS. CONTACT ARCHITECT IF ANY ABBREVIATIONS ARE NOT CLEAR.
- L. GC SHALL SUPPLY AND INSTALL ALL ASPECTS OF THE PROJECT DESCRIBED IN THIS DRAWING SET UNLESS OTHERWISE NOTED. SEE SCOPE OF WORK FOR EXCEPTIONS.
- M. GRAPHIC AND WRITTEN INFORMATION ON DRAWINGS SHALL BE COORDINATED WITH ALL TRADES PRIOR TO INSTALLATION.
- N. 7/8" STUCCO OVER METAL LATH OVER BUILDING PAPER IS AN ACCEPTABLE ALTERNATE FOR E.I.F.S.

PROJECT GENERAL NOTES

NAME	ROOM NAME	ELEV. LETTER
1		ELEV. SHEET
2		DOOR NUMBER
3		WINDOW NUMBER / DECOR ITEM NUMBER
4		EXTERIOR WALL FINISH NUMBER
5		KEY NOTE
6		EQUIPMENT NUMBER
7		ROOM FINISH NUMBER
8		INTERIOR ELEVATION DESIGNATION
9		SHEAR WALL TYPE (STRUCTURAL)
10		EQUIPMENT / FIXTURE NUMBER (M.E.P.)
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GENERAL DRAWING SYMBOLS



VICINITY MAP

DESCRIPTION OF PROJECT:
INTERIOR AND EXTERIOR REMODEL OF EXISTING RESTAURANT.
NEW DINING ROOM FURNITURE, FRONT COUNTER, DRIVE THRU EQUIPMENT,
NEW RESTROOM FIXTURES.

LEGAL JURISDICTION: CITY OF SAN JOSE, COUNTY OF SANTA CLARA
BUILDING CODE: 2013 CBC, 2013 CMC, 2013 CPC, 2013 CEC, 2013 CFC, TITLE 24
BUILDING AREA: 2,066 S.F. SEATING: 58
ZONING: CC (COMMERCIAL)
OCCUPANCY: A2
TYPE CONSTRUCTION: VB NON-SPRINKLERED
ELECTRIC SERVICE: 600 AMPS / 3 - PHASE / 120/280 VOLT

EXISTING BUILDING AREA AND OCCUPANT LOAD	AREA	FACTOR	OCCUPANTS
PUBLIC - DINING ROOM	915 S.F.	1.15 SF	61
RESTROOMS	123 S.F.	0	0
NON-PUBLIC	615 S.F.	1.200 SF	4
WALK-IN COOLER	85 S.F.	0	0
TOTAL	1738 S.F.		65

PROJECT SUMMARY

SIGNS UNDER A SEPARATE PERMIT

DEFERRED SUBMITTALS

PROJECT OWNER
Rakesh Kumar
Kumar Management Co.
551 Pilgrim Dr. Foster City CA
(650) 312-9935

ARCHITECT
MARKS ARCHITECTS INC
2643 FOURTH AVE,
SAN DIEGO, CA 92103
CONTACT: GABRIELA MARKS
PHONE: 619. 702. 9448

STRUCTURAL ENGINEER
LOVELACE ENGINEERING
5930 Cornerstone Court Suite 100
San Diego, CA 92121
CONTACT: CHRISTOPHER TURNER
PHONE: 858. 535. 9111 x308

PROJECT DIRECTORY

- PAINT ALL BOLLARDS ON SITE SAFETY YELLOW
- POWER WASH ROOF TILES WHERE APPLICABLE
- PROVIDE TEMPORARY PLYWOOD DUST BARRIER WITH ACCESS PANEL TO PROTECT KITCHEN DURING CONSTRUCTION
- PAINT ALL RAILS AND FENCES WHERE APPLICABLE
- SEAL ALL CRACKS ON SIDEWALKS AND CURBS
- PAINT ALL LIGHT POLE BASES
- ADJUST EXTERIOR DOORS AT DINING ROOM AREA TO PROVIDE AN OPENING FORCE NOT TO EXCEED 5 LBS AND A MINIMUM 3 SECOND CLOSING TIME.

TACO BELL GENERAL NOTES

TITLE
T1.0 TITLE SHEET
G51.0 GREEN BUILDING STANDARDS

SITE

A0.0 SITE PLAN
A0.1 SITE DETAILS
A0.2 SITE DETAILS

ARCHITECTURAL

D1.0 EXISTING FLOOR PLAN
D3.0 DEMOLITION EXTERIOR ELEVATIONS
A1.0 FLOOR PLAN
A1.1 DOOR & WINDOW ELEVATIONS AND SCHEDULES
A2.0 SEATING PLAN
A3.0 ROOF PLAN
A4.0 EXTERIOR ELEVATIONS
A4.1 EXTERIOR ELEVATIONS
A5.0 WALL SECTIONS
A5.1 WALL SECTIONS
A6.0 FINISH DETAILS
A6.1 CONSTRUCTION DETAILS
A7.0 FINISH FLOOR PLAN
A7.1 REFLECTED CEILING PLAN
A7.2 FINISH SCHEDULES
A8.0 INTERIOR ELEVATIONS DINING ROOM
A8.1 INTERIOR ELEVATIONS ENLARGED RESTROOM

CITY OF SAN JOSE BUILDING DIVISION
APPROVED PLAN SET
PERMIT NO. 16-114751-01
DATE 4-25-16
CHECKED BY [Signature]
APPROVED BY [Signature]

STRUCTURAL

S1.0 STRUCTURAL PLAN
S4.1 STRUCTURAL DETAILS - FRONT TOWER
S4.2 STRUCTURAL DETAILS - FRONT TOWER

ACCESSIBILITY

ADA 1.0 ACCESSIBILITY REQUIREMENTS
ADA 1.1 ACCESSIBILITY REQUIREMENTS

ELECTRICAL/MECHANICAL

ME1.0 LIGHTING PLAN AND SCHEDULE
E2.0 T-24 INTERIOR FORMS
E2.1 T-24 INTERIOR FORMS
E2.2 T-24 EXTERIOR FORMS
E2.3 T-24 EXTERIOR FORMS

ITEMS RELATED TO PLUMBING,
MECHANICAL AND ELECTRICAL TRADES
HAVE NOT BEEN REVIEWED. VERIFICATION
OF CODE COMPLIANCE FOR THESE ITEMS IS
FIELD INSPECTION STATE. PLEASE CALL
(408) 535-3555 FOR REFERRAL TO SPECIFIC
TRADE SUBMITTALS, IF YOU HAVE
QUESTIONS OR WOULD LIKE TO SCHEDULE
A SITE VISIT.

PLUMBING

P1.0 PLUMBING PLAN

ACCESSIBILITY COMPLIANCE FORM

This form is required in order to verify that the proposed construction will conform to California Building Code accessibility requirements.

ACCESSIBILITY COMPLIANCE DECLARATION
ADDRESS OF PROJECT PROPERTY: 3690 STEVENS CREEK BLVD
CITY: SAN JOSE STATE: CA ZIP CODE: CA

I have surveyed the building at the above address for compliance with required accessibility features per the California Building Code. Proposed alteration work will include any upgrades required to provide compliance with accessibility features serving the area of work as described in section CBC 11B-202. I acknowledge the following scope of required upgrades:

☐ The existing required accessibility features serving the area of work are in conformance with California Building Code.

☒ Upgrades to the existing condition are proposed to provide full compliance with required accessibility features serving the area of work in conformance with California Building Code.

☐ The feasibility of the proposed work will be severely impacted if full accessibility compliance is provided. Not all access features will be provided with the proposed scope of work, thus an Unreasonable Hardship determination is sought. Upgrades will be provided for all features not exempted in the approved Accessibility Unreasonable Hardship Application.

SIGNATURE: GABRIELA MARKS
DATE: 3/1/2016

I am the: ☐ Project Designer ☐ Business Owner ☒ Other, ARCHITECT

San Jose Permit Center 408-333-3305 www.sanjoseca.gov/building San Jose City Hall, 210 F. Street 2nd Fl., San Jose, CA 95133

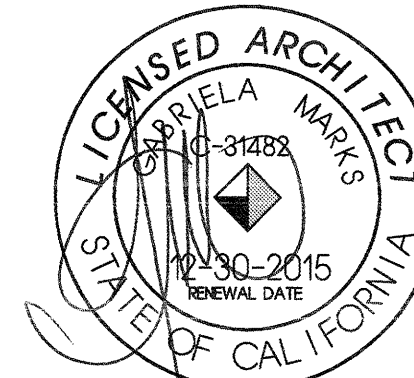
SHEET INDEX

marks
architects

architecture
interior design
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space planning
master planning
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casp

2643 fourth ave.
san diego ca 92103
619-702-9448

71905 hwy 111 #1
rancho mirage ca 92270
760-610-5264



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BUILDING DEPT. SUBMITTAL	8.6.15
HEALTH DEPT. CORR.	10.6.15
BUILDING DEPT. CORR.	01.08.16
BUILDING DEPT. CORR.	03.09.16

CONTRACT DATE:
BUILDING TYPE: M70HD
PLAN VERSION: MAR 2014
SITE NUMBER:
STORE NUMBER: 019515

TACO BELL

3690 STEVENS CREEK BLVD
SAN JOSE, CA 95117

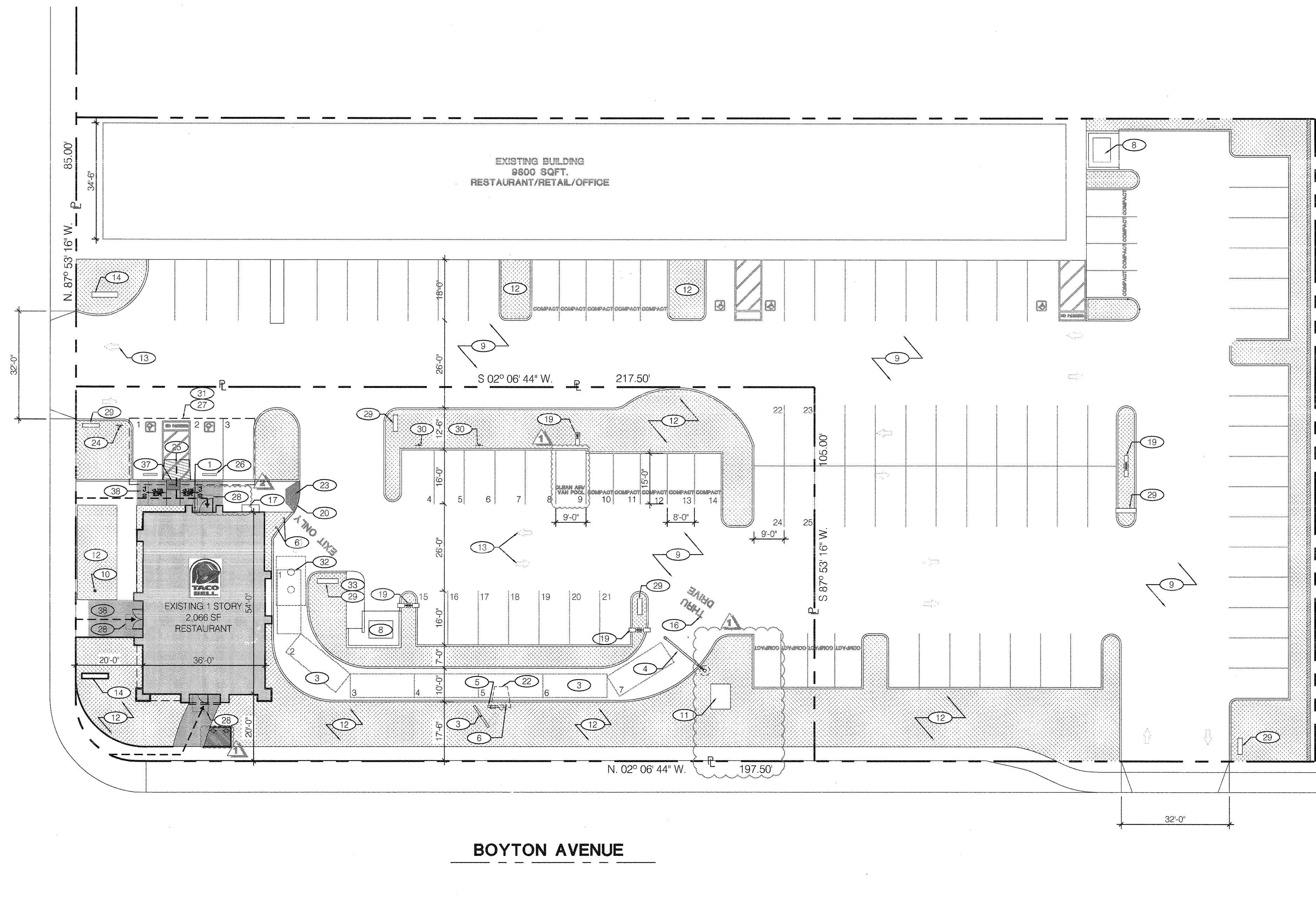


TITLE SHEET

T1.0

PLOT DATE:

BEP 16-114751 office



SITE PLAN 1"= 20'-0"

- 1 REMOVE EXISTING DISABLED ACCESSIBLE SIGN.

2 EXISTING MENU BOARD.

3 EXISTING DRIVE-THRU LANE.

4 NEW CLEARANCE BAR.

5 EXISTING ORDER CONFIRMATION.

6 EXISTING BOLLARD.

7 PAINT NEW HANDICAP SYMBOL - WHITE ON BLUE BACKGROUND.

8 EXISTING TRASH ENCLOSURE.

9 EXISTING PARKING LOT.

10 EXISTING FLAG POLE.

11 EXISTING ELECTRICAL TRANSFORMER. NO WORK
- 12 EXISTING LANDSCAPE AREA - NO WORK

13 EXISTING TRAFFIC ARROWS.

14 EXISTING MONUMENT SIGN.

15 EXISTING PREVIEW MENU BOARD

16 PAINT 24" HIGH LETTERS - WHITE

17 EXISTING ELECTRICAL SWITCHGEAR

18 NOT USED.

19 EXISTING LIGHT POLE.

20 PROVIDE NEW TRUNCATED DOMES PER DETAIL 18/ADA1.1

21 NEW ACCESSIBLE PATH OF TRAVEL. PROVIDE SOLID WHITE STRIPE 4 INCHES WIDE.

22 NEW ORDER CANOPY.

23 (E) RAMP.
- 24 REPLACE EXISTING TOW AWAY SIGN ADJACENT WITH ONE THAT HAS CORRECT WORDING.

THE SIGN SHALL NOT BE LESS THAN 17 INCHES BY 22 INCHES IN SIZE WITH 1 INCH HIGH MINIMUM LETTERING WHICH CLEARLY AND CONSPICUOUSLY STATES THE FOLLOWING:

"UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DISTINGUISHING PLACARDS OR SPECIAL LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES WILL BE TOWED AWAY AT OWNER'S EXPENSE.

TOWED VEHICLES MAY BE RECLAIMED AT _____ OR BY TELEPHONING _____

BLANK SPACES ARE TO BE FILLED IN WITH APPROPRIATE INFORMATION AS A PERMANENT PART OF THE SIGN. INSTALL PER DETAIL 12/ADA1.1

25 DEMO EXISTING RAMP. PROVIDE NEW ASPHALT CROSS SLOPE NOT TO EXCEED 2% ON DIRECTION OF TRAVEL.

26 PROVIDE NEW WHEELSTOP.

27 REMOVE STRIPING AND REPAINT PARKING SPACES. COLOR: WHITE. RELOCATE ACCESSIBLE SPACES AS INDICATED.
- 28 CLEAR AND LEVEL SPACE 60'X60' AT ENTRANCE SHOULD NOT EXCEED 2% IN ANY DIRECTION.

29 EXISTING DOUBLE FACED ILLUMINATED DIRECTIONAL SIGNAGE.

30 ACCESSIBLE PARKING SIGN, PER DETAIL 12/ADA1.1

31 ACCESSIBLE PARKING SPACE. VERIFY THAT SLOPE DOES NOT EXCEED 2% ON ANY DIRECTION. PROVIDE ASPHALT OVERLAY TO CORRECT SLOPE IF NEEDED.

32 (E) GREASE INTERCEPTOR.

33 REPAIR DAMAGED DIRECTIONAL SIGN.

34 NEW BIKE BOLLARD

35 NOT USED

36 NOT USED

37 (N) LANDING. 2% MAX SLOPE IN ALL DIRECTIONS. PROVIDE TRUNCATED DOMES PER DETAIL 18/ADA1.1

38 NEW CONCRETE WALKWAY RUNNING SLOPE N.T.E. 5% CROSS SLOPE N.T.E. 2%

KEY NOTES A

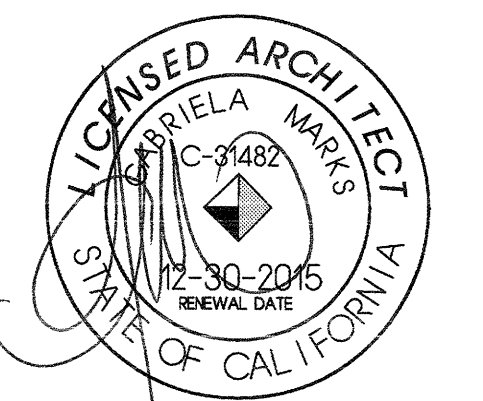
LOT COVERAGE	SQUARE FEET	PERCENTAGE
SITE AREA	24,332 SF	100 %
BUILDING AREA	2,066 SF	8.50 %
PARKING AREA	16,300 SF	67.00 %
LANDSCAPE AREA	5,966 SF	24.50 %
PARKING ANALYSIS:	SPACES REQUIRED	SPACES PROVIDED
RESTAURANT 2,066 @ 10/ 1000	21	27
NUMBER OF DISABLED SPACES	1	1
TOTAL PARKING		

PARKING ANALYSIS B

architecture
interior design
retail
restaurants
space planning
master planning
leed accredited
casp

2643 fourth ave.
san diego ca 92103
619-702-9448

71905 hwy 111 #1
rancho mirage ca 92270
760-610-5264



marks architects 2015
ALL REPORTS, PLANS AND DOCUMENTS PREPARED BY MARKS ARCHITECTS SHALL REMAIN THE PROPERTY OF MARKS ARCHITECTS AND IS INTENDED FOR USE FOR THIS SPECIFIC PROJECT ONLY.

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CONTRACT DATE:

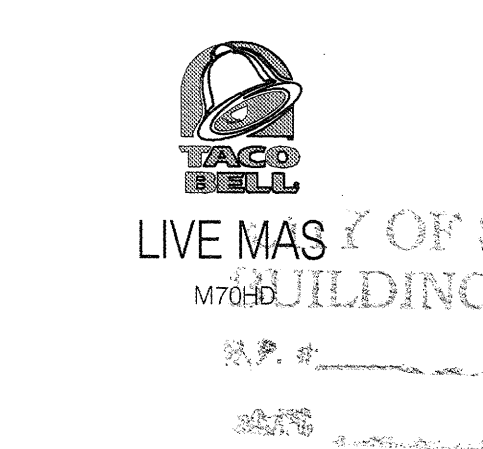
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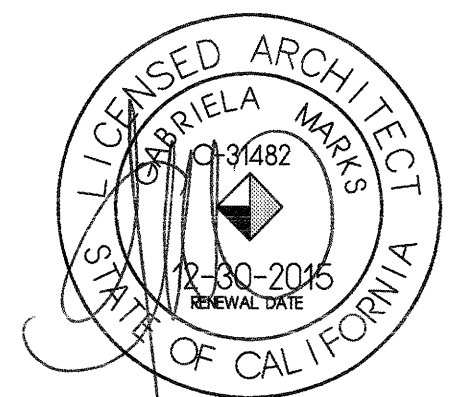


SITE PLAN
A0.0
PLOT DATE:

APPLICATION CHECKLIST FOR BSC		MANDATORY	SHEET
Requirements:			
Project meets all of the requirements of Divisions 5.1 through 5.5.		☑	
Site Development			
5.106.1 Storm water pollution prevention. Newly constructed projects which disturb less than one acre of land shall prevent the pollution of stormwater runoff from the construction activities through best practices in Section 5.106.1.1 or		☑	N/A
Best management practices (BMP) in Section 5.106.1.2.		☑	
AS.106.2 Storm water design. Design storm water runoff rate and quantity in conformance with Section AS.106.3.1 and storm water runoff quality by Section AS.106.3.2 or by local ordinances, whichever are stricter.		☑	A0.0
5.106.4 Bicycle parking. Comply with Sections 5.106.4.1, 4.106.4.1 and 5.106.4.1.2; or meet local ordinance, whichever is stricter.		☑	A0.0
5.106.4.1.1 Short-term bicycle parking. If the new project or addition or alteration is anticipated to generate visitor traffic, provide permanently anchored bicycle racks within 200 feet of the visitor entrance, readily visible to visitors; and for 5 percent of new visitor motorized vehicle parking spaces being added, with a minimum of one two-bike capacity rack.		☑	A0.0
5.106.4.1.2 Long-term bicycle parking. Provide at least one bicycle parking space, provide secure bicycle parking for 3 percent of the total occupied motorized vehicle parking spaces being added, with a minimum of one space. See exception for addition or alteration.		☑	
AS.106.4.3 Changing rooms. For buildings with over 100 employees, provide changing/shower facilities in accordance with Table AS.106.4.3 or document arrangements with nearby changing/shower facilities.		☑	A0.0
AS.106.5.1 Designated parking for fuel-efficient, fuel-efficient and carpool/van pool vehicles as shown in Table AS.106.5.1.1.		☑	
AS.106.5.1.1. Tier 1: 10% of total parking spaces Table AS.106.5.1.1.		☑	
AS.106.5.1.2. Tier 2: 12% of total parking spaces Table AS.106.5.1.1.		☑	
AS.106.5.2 Designated parking. Provide designated parking for any combination of low-emitting, fuel-efficient and carpool/van pool vehicles as shown in Table AS.106.5.2.		☑	A0.0
5.106.9 Light pollution reduction. [N] Outdoor lighting systems shall be designed and installed to comply with the following:			
1. The minimum requirements in the California Energy Code for Lighting Zones 1-4 as defined in Chapter 10 of the California Administrative Code.		☑	
2. Backlight, Uplight and Glare (BULG) ratings as defined in IESNA DA-15-11; and		☑	
3. Allowable BULG ratings not exceeding those shown in Table AS.106.9.3, or		☑	NO NEW SITE LIGHTING
Comply with a local ordinance in effect pursuant to Section 101.7, whichever is more stringent.			
Comply with the following:			
1. Luminaires that qualify as exceptions in Section 147 of the California Energy Code		☑	
2. Emergency lighting.			
5.106.10 Grading and paving. Construction plans shall indicate how the grading or a drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include those shown in Figure 1-5. See exception for additions or alterations.		☑	N/A (E) PAVING
Energy Efficiency			
Performance Requirements			
5.509.1 Steps. Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.		☑	T-24 ELEC (E) 0.2-0.3
Water Efficiency and Conservation			
Indoor Water Use			
5.303.1 Meters. Separate meters shall be installed for the uses described in Section 5.303.1.1 and 5.303.1.2.			
5.303.1.1 New buildings or additions in excess of 50,000 square feet. Separate submeters shall be installed for each:			N/A SINGLE TENANT BLDG.
1. For each individual tenant, room or other tenant space within the building projected to consume more than 100 gallons;			
2. When separate submeters for individual building tenants are unfeasible, for water supplied to the following categories:			
a. Makeup water for cooling towers when flow through is greater than 500 gpm (30 L/s)		☑	N/A
b. Steam and hot-water boilers for space heating greater than 50,000 Btu/h (147 kW)		☑	N/A
c. Steam and hot-water boilers with energy input more than 50,000 Btu/h (147 kW)		☑	N/A
5.303.1.2 Excess consumption. Any tenant within a new building or an addition that is projected to consume more than 1,000 gallons (3,802 L) daily.		☑	P1.0
5.303.2 Water reduction. Flowing fixtures shall meet the maximum flow rate values shown in Table 5.303.2.3.			
Exception: Buildings that demonstrate 20-percent overall water use reduction. In this case, a calculation demonstrating a 20-percent reduction in the building "water use baseline," as established in Table 5.303.2.2, shall be provided.		☑	
5.303.3 Water conserving plumbing fixtures and fittings. Flowing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the following:			P1.0
5.303.3.1 Water closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-Type Toilets.			
Notes: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.			
5.303.3.2 Urinals. The effective flush volume of urinals shall not exceed 0.5 gallons per flush.		☑	N/A
5.303.3.3 Showerheads.		☑	N/A
5.303.3.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.		☑	N/A
5.303.3.3.2 Multiple showerheads specifying use shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.		☑	N/A
Note: A hand-held shower shall be considered a showerhead.			
5.303.4 Wastewater reduction. [N] Each building shall reduce the generation of wastewater by one of the following methods:		As applicable	
1. The installation of water-conserving fixtures or		☑	P1.0
2. Utilizing reusable water systems.		☑	
5.303.6 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1-01 of the California Plumbing Code and in Chapter 6 of this code.		As applicable	P1.0
Outdoor Water Use			
5.304.1 Water budget. A water budget shall be developed for landscape irrigation use. Applies to additions or alterations.		☑	N/A
5.304.2 Outdoor potable water use. For new water service, separate meters or submeters shall be installed for indoor and outdoor potable water use (landscape areas) of at least 1,000 square feet but not more 5,000 square feet; separate submeters shall be installed for outdoor potable water use. Applies to additions or alterations.		☑	N/A LANDSCAPE AREA—500 SF OF ONLY 1 METER
AS.304.2.1 Outdoor potable water use. For new water service not subject to the provisions of Section 5.304.2, separate meters or submeters shall be installed for outdoor potable water use for landscape areas of at least 500 square feet but not more than 1,000 square feet (the total at which Section 5.304.2 applies).		☑	
5.304.3 Irrigation design. In new nonresidential projects with at least 1,000 square feet but not more than 2,500 square feet of landscaped area (by level at which the MLO applies), install irrigation controllers and sensors which include the following criteria and meet manufacturers' recommendations. Applies to additions or alterations.			
5.304.3.1 Irrigation controllers. Automatic irrigation system controllers installed at the time of final inspection shall comply with the following:			
1. Controllers shall be weather- or seal moisture-based controllers that automatically adjust irrigation in response to changes in plant needs as weather conditions change.		As applicable	(E) IRRIGATION
2. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor meter connected or communicate with the controller. Soil moisture-based controllers are not required to have rain sensor input.			

APPLICATION CHECKLIST FOR BSC		MANDATORY	SHEET
Weather Resistance and Moisture Management:			
5.4071. Weather protection. Provide a weather-resistant exterior wall and foundation enclosure as required by California Building Code Section 1403.2 and California Energy Code, Section 150.1, manufacturer's installation instructions or local ordinance, whichever is more stringent.®		☑	A5.0
5.4072. Moisture management. Employ moisture control measures by the following methods:			
5.4072.a Siphoners. Prevent irrigation spray on structures.		☑	N/A
5.4072.b Fountains and openings. Design exterior stairs and openings to prevent water intrusion into buildings.		☑	A4.0
Construction Waste Reduction, Disposal and Recycling:			
5.4083. Construction waste management. Recycle and/or salvage for reuse a minimum of 50% of the non-hazardous construction waste in accordance with Section 5.408.1.1, 5.408.1.2, or 5.408.1.3, or meet a local construction and demolition waste management ordinance, whichever is more stringent.		☑	By G.C.
5.4083.1 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance that is more stringent, submit a construction waste management plan that complies with Items 1 through 4 of this section.		☑	By G.C.
5.4083.2 Waste management company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction material diverted from the landfill complies with this section.		☑	By G.C.
Exceptions to Sections 5.408.1.1 and 5.408.1.2:			
1. Excavated soil and land-clearing debris.			
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycling facilities capable of compliance with this item do not exist.			
3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities and markets			
5.4084.14 Documentation. Provide documentation of the waste management plan that meets the requirements listed in Sections 5.408.1.1 through 5.408.1.3, and the plan is accessible to the enforcement authority.		☑	By G.C.
5.4083. Excavated soil and land clearing debris. 100 percent of trees, stumps, roots and excavated vegetation and soil resulting primarily from the construction of the project are recycled.		☑	By G.C.
Exception: Reuse, either on-site or off-site, of vegetation or soil contaminated by disease or pest infestation.			
Building Maintenance and Operation			
5.4101. Storage by occupants. Provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of nonhazardous materials for recycling.®			
5.4101.1 Additions. Add all addition constructed within a 2-megapound waste limit to multiple projects, resulting in an increase of 20 percent or more in floor area, to the project recycling area on site.			A4.0
Exception: Additions within a tenet space resulting in less than a 20 percent increase in the tenet space floor area.			
5.4103. Commissioning. [N] For new buildings (100,000 square feet and over, including conversions for full building occupancy) by Title 24, § 150,000, provide a commissioning process that is included in the building and construction process of the building project. Commissioning requirements that include Items 5.4103.1 through 5.4103.4.	☑		N/A
5.4103.1 Commissioning plan. [D] A written narrative of how the design of the building system meets the OPR shall be completed at the design phase of the building project to cover the system listed in Section 5.4103.2.2.			
5.4103.2 Commissioning plan. [D] A commissioning plan describing how the system will be validated.			
5.4103.3 [D] Functional performance testing shall demonstrate the correct installation and operation of each component, system and system-to-system interface in accordance with design intent.			
5.4103.4 Documentation and training. [D] A Systems manual and system operations training are required.			
5.4103.5 System manual. [D] The system manual shall be developed for the owner, the architect or representative and facilities operator and shall include the Items listed in 5.4103.5.1.			
5.4103.5.1 System operation training. [D] A program for training of the appropriate maintenance staff for each component and control system shall be developed and shall include Items 5.4103.5.1.1 through 5.4103.5.1.4.			
5.4103.5.1.1 Commissioning report. [D] A report of commissioning process activities undertaken through the design and construction phases of the building project shall be compiled and provided to the owner, the architect or representative.		☑	N/A
5.4103.5.1.2 Finding and adjusting. Testing and adjusting of systems shall be required for buildings less than 10,000 square feet. Apply to non-system testing and debugging.			
5.4103.5.1.3 System testing. Develop a written plan of procedures for testing and adjusting systems. System to be included for testing and adjusting include, as applicable to the project, the systems listed in Section 5.4103.2.			
5.4103.4 Procedures. Perform testing and adjusting procedures in accordance with applicable standards or standards as determined by the national agency.			
5.4103.4.1 HVAC balancing. Before a new space-conditioning system testing a building project is initiated for final use, make it accordance with the procedures defined by national standards listed in Section 5.4103.4.1.1 or as approved by the enforcing agency.			
5.4103.4.2 Reporting. After completion of testing, adjusting and balancing, provide a final report of testing and adjusting for the building project for retaining the records.			
5.4103.4.3 Operation and maintenance manual. Provide the building owner with detailed operating and maintenance instructions and copies of guarantee/warranty for each system prior to final inspection.			
5.4103.4.5 Inspections and reports. Include a copy of all inspection visitations and reports required by the enforcing authority.			
Environmental Quality			
Pollutant Control			
AS.504.1 Indoor air quality (IAQ) during construction. Maintain IAQ as provided in Sections AS.504.1.1 and AS.504.1.2.			
AS.504.1.1 Temporary ventilation. Provide temporary ventilation during construction in accordance with Section 12.3 of the California Code of Civil Title 24, Part 14, Division 1, Section 1403.2. This item is included in Items 1 and 2 in Section AS.504.1.2.			
AS.504.1.2 IAQ measures. Implement additional measures as listed in Items 3 through 5 in Section AS.504.1.3.			
AS.504.1.3 Temporary ventilation. If the HVAC system is in use during construction, or return air through the building is used, as based on ASHRAE 55-1999, or an average of ASHRAE 55-1999 and ASHRAE 55-1979, reduce airflow to IAQ immediately after in use, according to addition or reduction.			
AS.504.1.4 Covering of dust operations and protection of materials. Cover all dust-generating equipment, such as the blow of gravel installation and during concrete on the construction site and limit final finish of the staining, grinding and finishing operations, and dust and other related air disturbance control operations shall be covered with plastic sheeting, sheet piling or other methods acceptable to the enforcing authority. Equipment, material, waste and debris shall remain on the system.		☑	A7.1
AS.504.1.5 Environmental pollution control. Treat materials that comply with Section 5.504.1.1 through 5.504.4.1.			
AS.504.4.1 Adhesives, sealants, caulks. Adhesives and sealants used on the project shall meet the requirements of the following:			
1. Adhesives, adhesive bonding systems, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules with applicable or CCHQD Title 14B VOC limits; and			
2. Adhesives and sealant unit limits of adhesives and sealant or caulking compounds (in units of product, not packaging, which do not weigh more than one pound and do not consist of more than 10 fluid ounces) shall comply with maximum VOC and hazardous materials requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, Chapter 150000, with Section 54097.			
AS.504.4.3 Paints and coatings. Architectural paints and coatings shall comply with Title 5, 5.504.4.3 unless more stringent local limits apply.			
AS.504.4.3.1 Aerosol paints and coatings. Aerosol paints and coatings shall meet the Product-Worksheet Limits for Lead in Section 94522.03, and other requirements, including prohibitions on use of isocyanate compounds and toxic heavy metals without CCHQD Title 17, Section 14020.02, and other prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, Chapter 150000, with Section 54097.			
AS.504.4.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency.			
AS.504.4.4.1 Carpet systems. All carpet installed in the building interior shall meet the testing and requirements of AS.504.4.4.2 in Section 5.504.4.4.2.			
AS.504.4.4.2 Carpet systems. All carpet installed in the building interior shall meet the testing and requirements of AS.504.4.4.2 in Section 5.504.4.4.2.			
AS.504.4.4.3 Carpeted used products. Discard old products used in the building interior. Discard old carpeted used products used in the interior or exterior of the building shall meet the requirements for flooring as specified in Title 5, 5.504.4.4.3.			
AS.504.4.5.1 Early compliance with formaldehyde limits. Tier 1. Meet the requirements contained in Title 5, AS.504.4.5.1 before the compliance date.			
AS.504.4.5.2 No added formaldehyde. Tier 2. The composite wood products approved by the ABQ as no-added formaldehyde (NFA) based resin or other low emitting formaldehyde (LEF) resin.			
AS.504.4.5.3 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:		☑	As Applicable
1. Product certifications and specifications.		☑	N/A
2. Chain of custody certification.		☑	N/A
3. Product label and invoice used in meeting the Composite Wood Products regulation (see FCC, Title 17, Section 91300, et seq.).		☑	N/A
4. Exterior grade products marked as meeting the PS1 or PS2 standards of the Engineered Wood Association, the Australian Standards 2469 or European 638 standards.		☑	N/A
5. Other grade products acceptable to the enforcing authority.		☑	N/A
5.504.4.6 Building finished systems. Comply with the VOC emission limits defined in Title 24 CCRS except and in fact in its High Performance Greenhouse Database; products compliant with CCRS offers effective for CCRS and CCRS and CCRS programs, including the CCRS and			

APPLICATION CHECKLIST FOR BSC		MANDATORY	SHEET
A5.504.5 Hazardous particulates and chemical pollutants. Minimum and control pollutant entry into buildings and cross-contamination of equally occupied areas.			N/A
A5.504.5.3 Filters. In mechanically ventilated buildings, provide regularly occupied areas of the building with air filtration for air outside and return air that provides at least a MERV of 8. MERV 9 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual.	<input checked="" type="checkbox"/>		N/A
Indoor Moisture and Radon Control			
A5.505.3 Indoor moisture control. Buildings shall meet or exceed the provisions of California Building Code, CBC, Title 24, Part 2, Sections 1203 and Chapter 14.3.			N/A
Air Quality and Exhaust			
A5.506.1 Outside air delivery. For mechanically or naturally ventilated spaces in buildings, meet the minimum requirement of Section 121 of the California Energy Code and Chapter 4 of CCR, Title 8 or the applicable local code, whichever is more stringent.	<input checked="" type="checkbox"/>		N/A
A5.506.2 Carbon dioxide (CO ₂) monitoring. For buildings or additions equipped with demand controlled ventilation, CO ₂ sensors and ventilation controls shall be specified and installed in accordance with the requirements of the California Energy Code, CEC, Section 1206.6A1.	<input checked="" type="checkbox"/>		N/A
A5.507.4 Acoustical control. Employ building assemblies and components with STC values determined in accordance with ASTM E 90 and ASTM E 413 or OITC determined in accordance with ASTM E 1332, using either the prescriptive or performance method in Section 5.507.4.1 or 5.507.4.2.	<input checked="" type="checkbox"/>		N/A
A5.507.4.1 Exterior noise transmission, prescriptive method. Wall and floor-ceiling assemblies exposed to the noise source making up the building envelope shall have exterior wall and roof ceiling assemblies meeting a composite STC rating of at least 50 or a composite OITC rating of no less than 40 with exterior windows of a minimum STC of 40 or OITC of 30 in the locations described in Item 1 and 2. Also applies to addition envelope or altered envelope.	<input checked="" type="checkbox"/>		N/A
A5.507.4.1.1 Noise exposure where noise contours are not readily available. Buildings exposed to a noise level of 65 dB L _{dn} 1Hr during any hour of operation shall have exterior wall and roof-ceiling assemblies required to the noise source meeting a composite STC rating of at least 45 (or OITC 35), with exterior windows of a minimum STC of 40 (or OITC 30). Also applies to addition or alteration exterior wall.		or	N/A
A5.507.4.2 Performance method. For buildings located as defined in Sections A5.507.4.1 or A5.507.4.1.1, wall and roof-ceiling assemblies making up the building envelope shall be constructed to provide an interior noise environment attributable to exterior sources that does not exceed an hourly equivalent noise level (L _{eq}) of 50 dBA in occupied areas during any hour of operation. Also applies to addition envelope or altered envelope.	<input checked="" type="checkbox"/>		N/A
A5.507.4.2.1 Site features. Isometric features such as sound walls or earth berms may be utilized as appropriate to the project to mitigate sound migration to the interior. Also applies to addition envelope or altered envelope.	<input checked="" type="checkbox"/>		N/A
A5.507.4.2.1.1 Documentation of compliance. An acoustical analysis documenting complying interior sound levels shall be prepared by personnel approved by the architect or engineer of record.	<input checked="" type="checkbox"/>		N/A
A5.507.4.3 Interior sound transmission. Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40.	<input checked="" type="checkbox"/>		N/A
Outdoor Air Quality			
A5.508.1 Ozone depletion and global warming reductions. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2.		As applicable	
A5.508.1.1 CFCs. Install HVAC and refrigeration equipment that does not contain CFCs. ¹	<input checked="" type="checkbox"/>		
A5.508.1.2 Halons. Install fire suppression equipment that does not contain halons. ¹	<input checked="" type="checkbox"/>		
A5.508.1.3 Hydrochlorofluorocarbons (HCFCs). Install HVAC and refrigeration equipment that does not contain HCFCs.			
A5.508.1.4 Hydrofluorocarbons (HFCs). Install HVAC complying with either of the following: 1. Install HVAC, refrigeration and fire suppression equipment that do not contain HFCs or that do not contain HFCs with a global warming potential greater than 150. 2. Install HVAC and refrigeration equipment that limit the use of HFC refrigerant through the use of a secondary heat transfer fluid with a global warming potential no greater than 1.			
A5.508.2 Supermarket refrigerant leak reduction. Non commercial refrigeration systems shall comply with the provision of this section when installed in retail food stores 5,000 square feet or more conditioned area, and that utilize either refrigerated display cases, or walk-in coolers or freezers connected to transient compressor units or condensing units. The leak reduction measures apply to refrigeration systems containing high-global-warming potential (high-GWP) refrigerants with a GWP of 150 or greater. Non-refrigeration systems include both new facilities and the replacement of existing refrigeration systems in existing facilities. Exception: Refrigeration systems containing low-global warming potential (low-GWP) refrigerant with a GWP value less than 150 are not subject to this section. Low-GWP refrigerants are nonozone-depleting refrigerants that include ammonia, carbon dioxide (CO ₂), and potentially other refrigerants.	<input checked="" type="checkbox"/>	As applicable	N/A



BUILDING DEPT. SUBMITTAL	8.6.15
BUILDING DEPT CORR.	01.08.1

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CONTRACT DATE:
BUILDING TYPE: M70HD
PLAN VERSION: MAR 2014
SITE NUMBER:
STORE NUMBER: 019515

TACO BELL
3690 STEVENS CREEK BLVD
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LIVE MAS # _____
M70HD

**GREEN
BUILDING
STANDARDS**

GB1.0

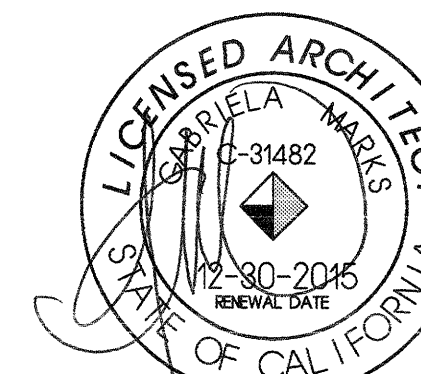
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BUILDING DEPT CORR.	01.08.16
BUILDING DEPT CORR.	03.09.16

CONTRACT DATE:
BUILDING TYPE: M70HD
PLAN VERSION: MAR 2014
SITE NUMBER:
STORE NUMBER: 019615

TACO BELL

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SAN JOSE, CA 95117

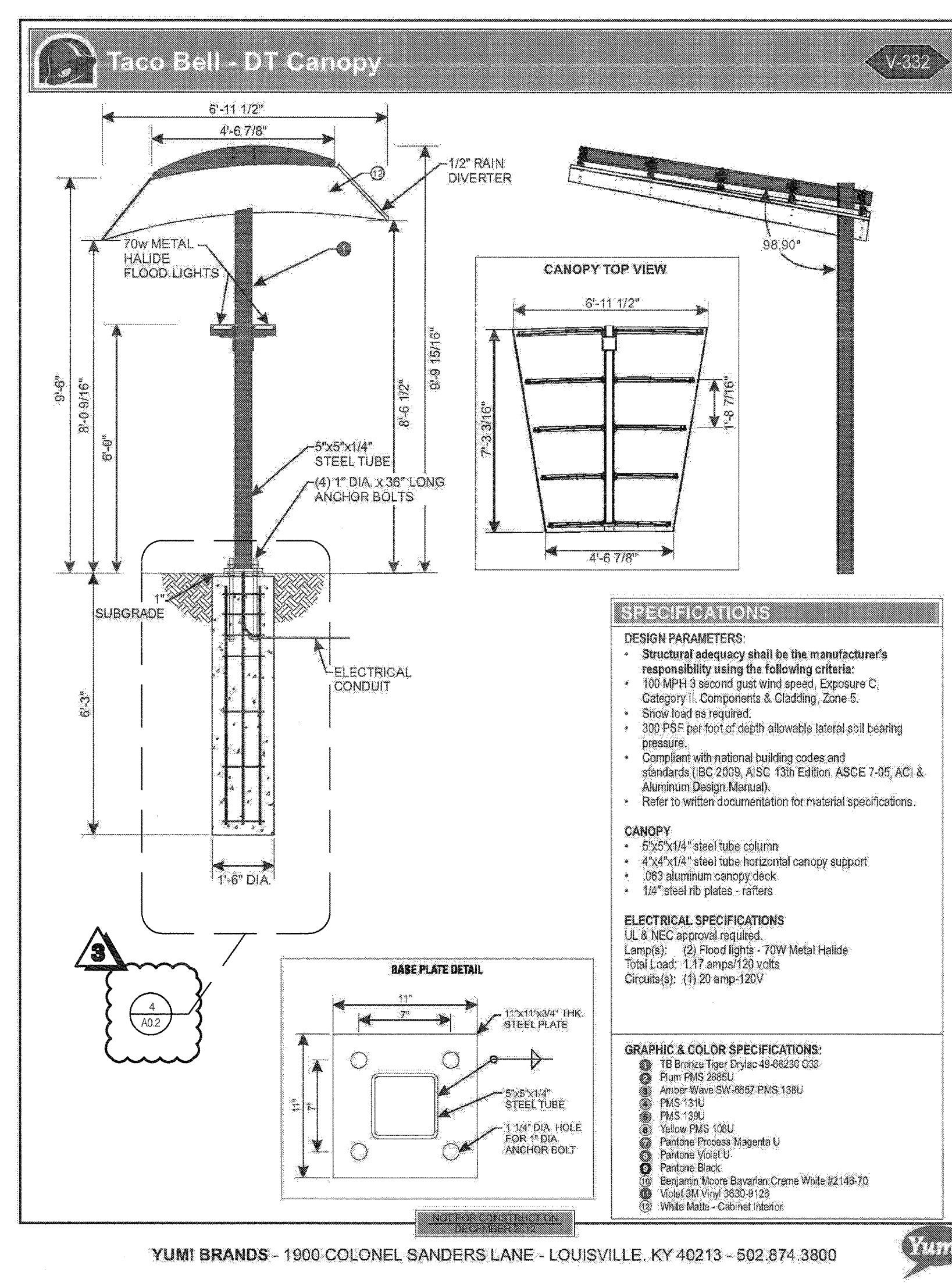
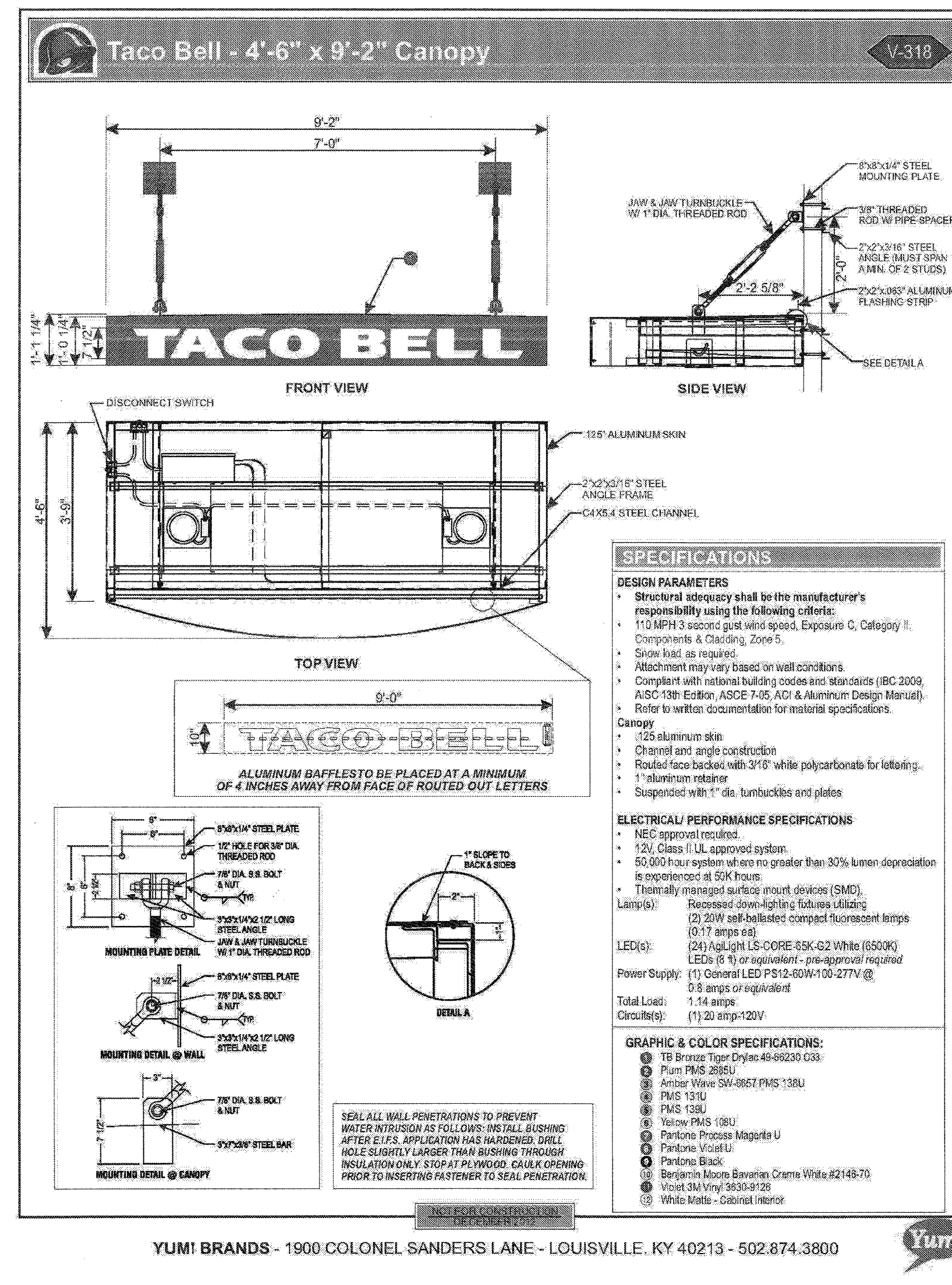
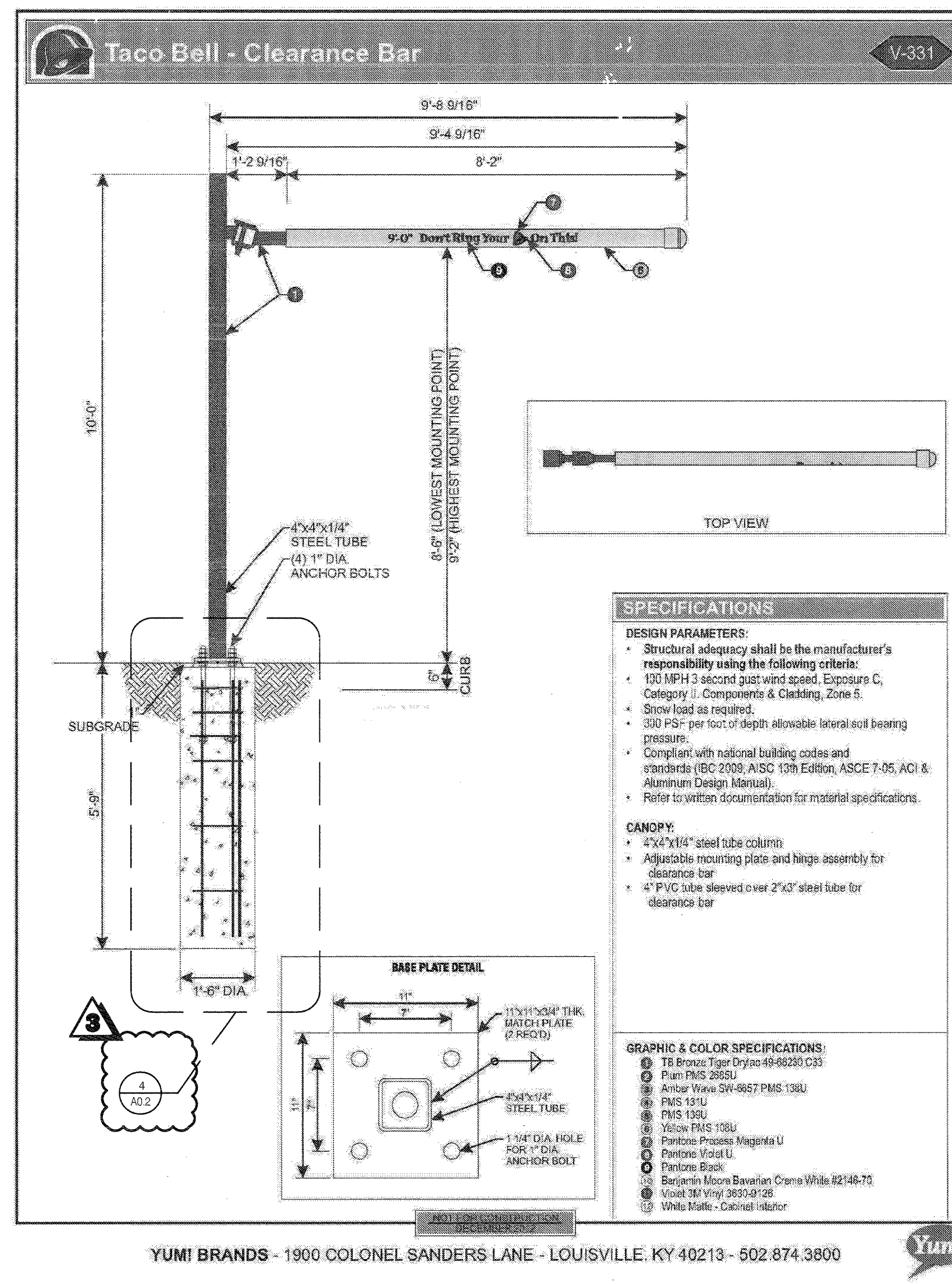


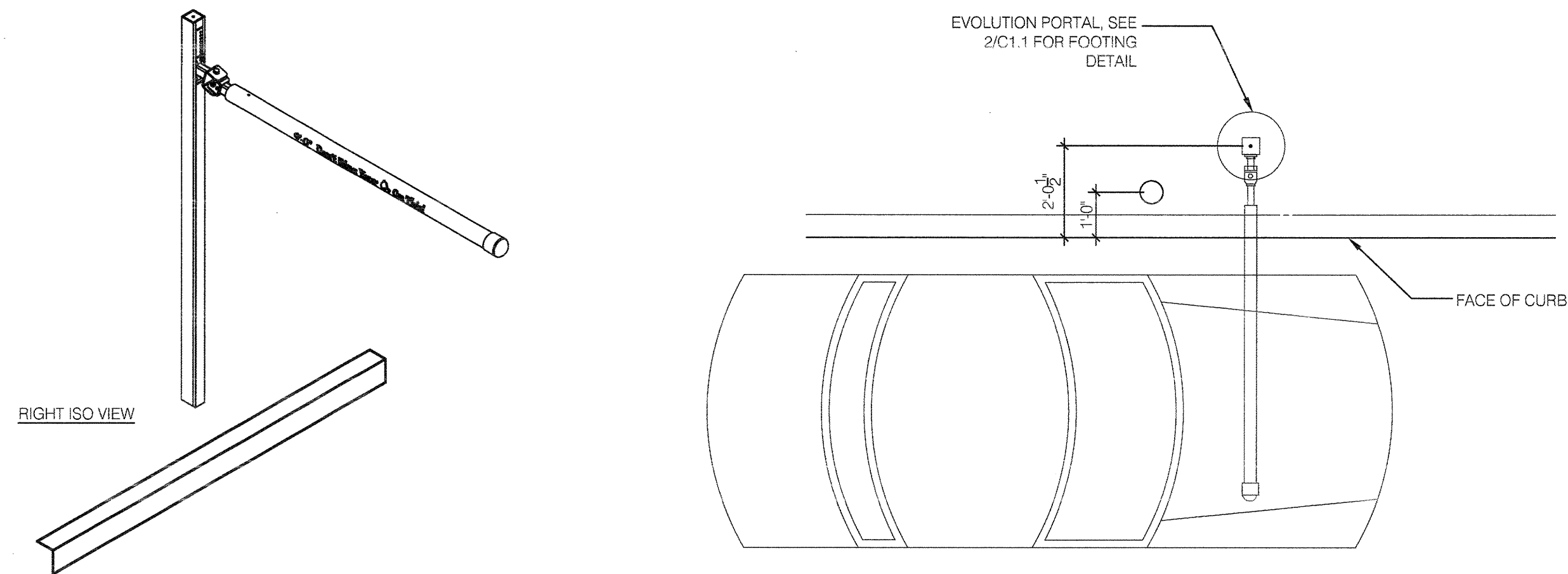
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M70HD BUILDING DIVISION

SITE
DETAILS

A0.1

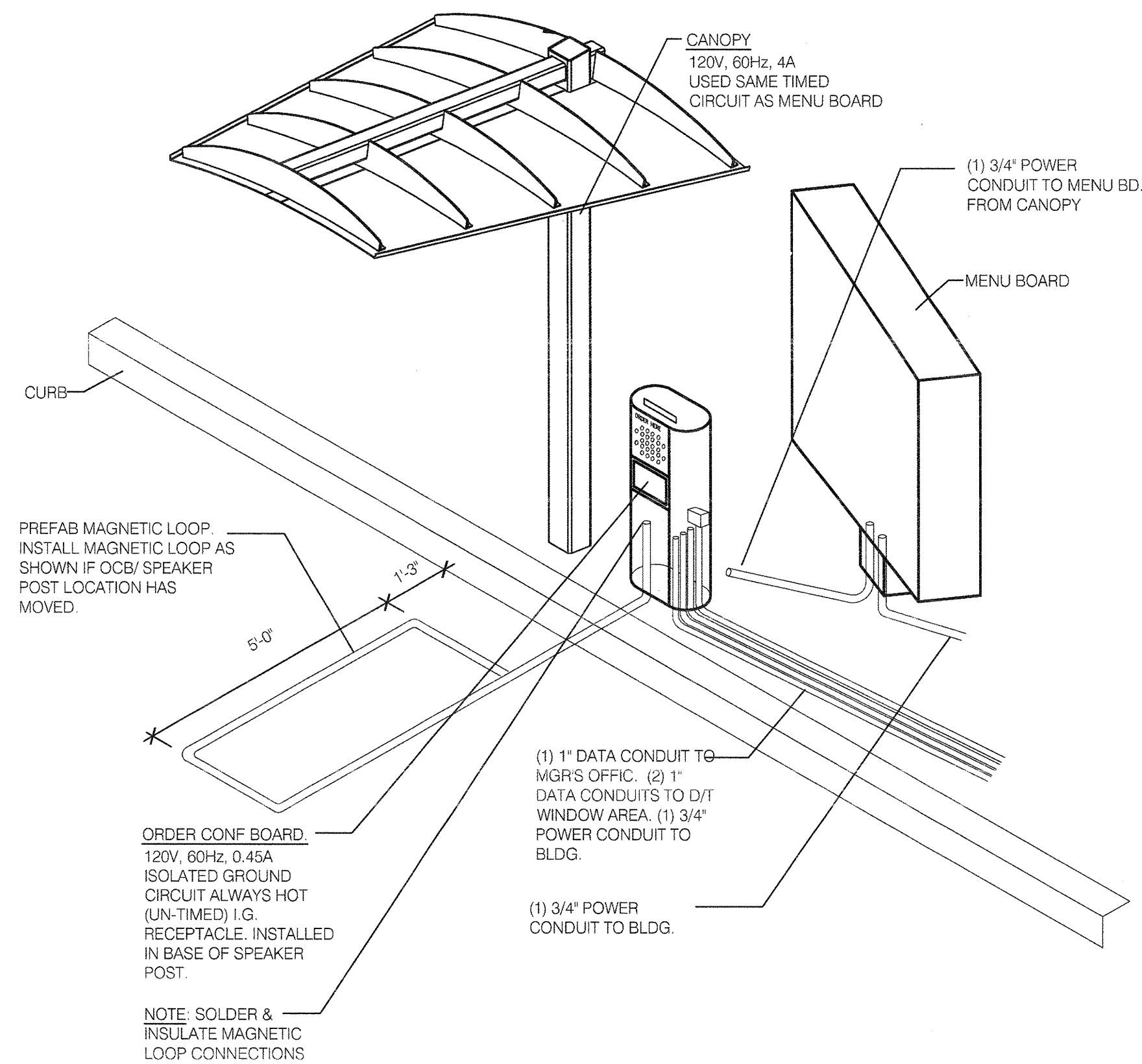
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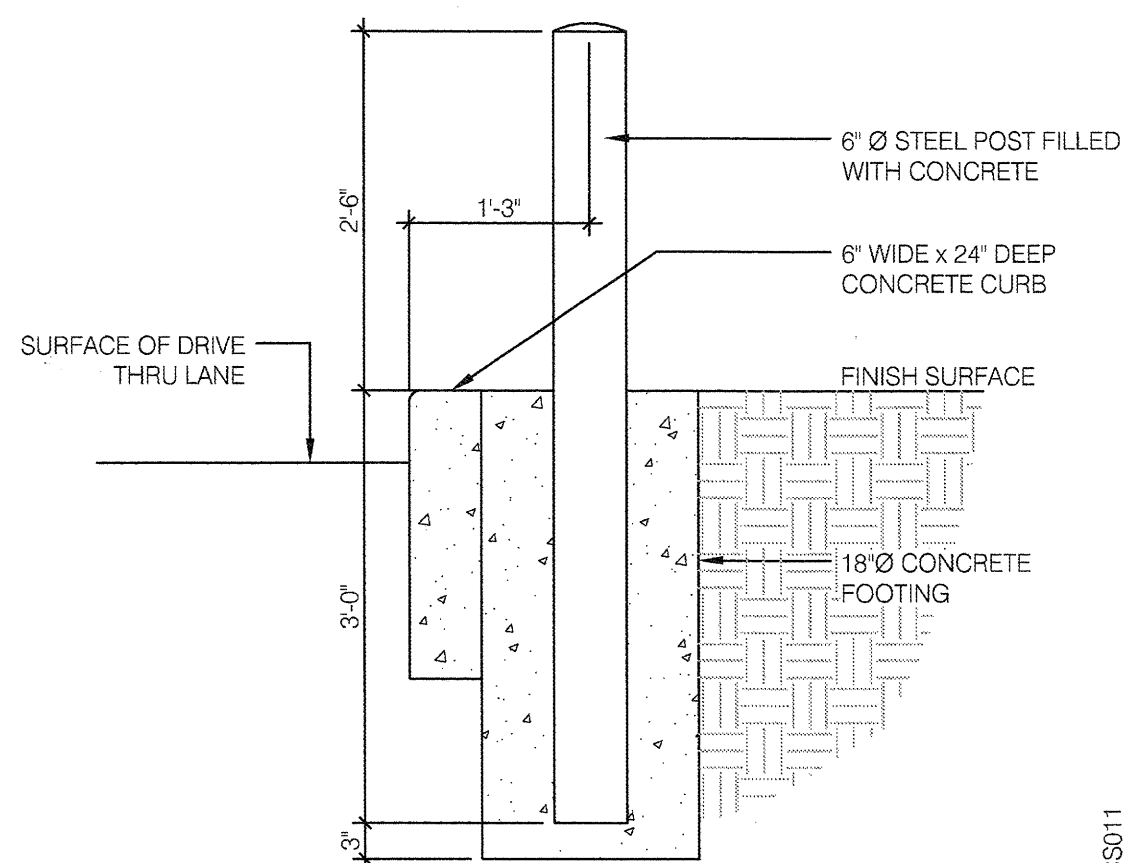


TCS010A

PORTAL PLACEMENT DETAIL 1/2" = 1'-0" 3

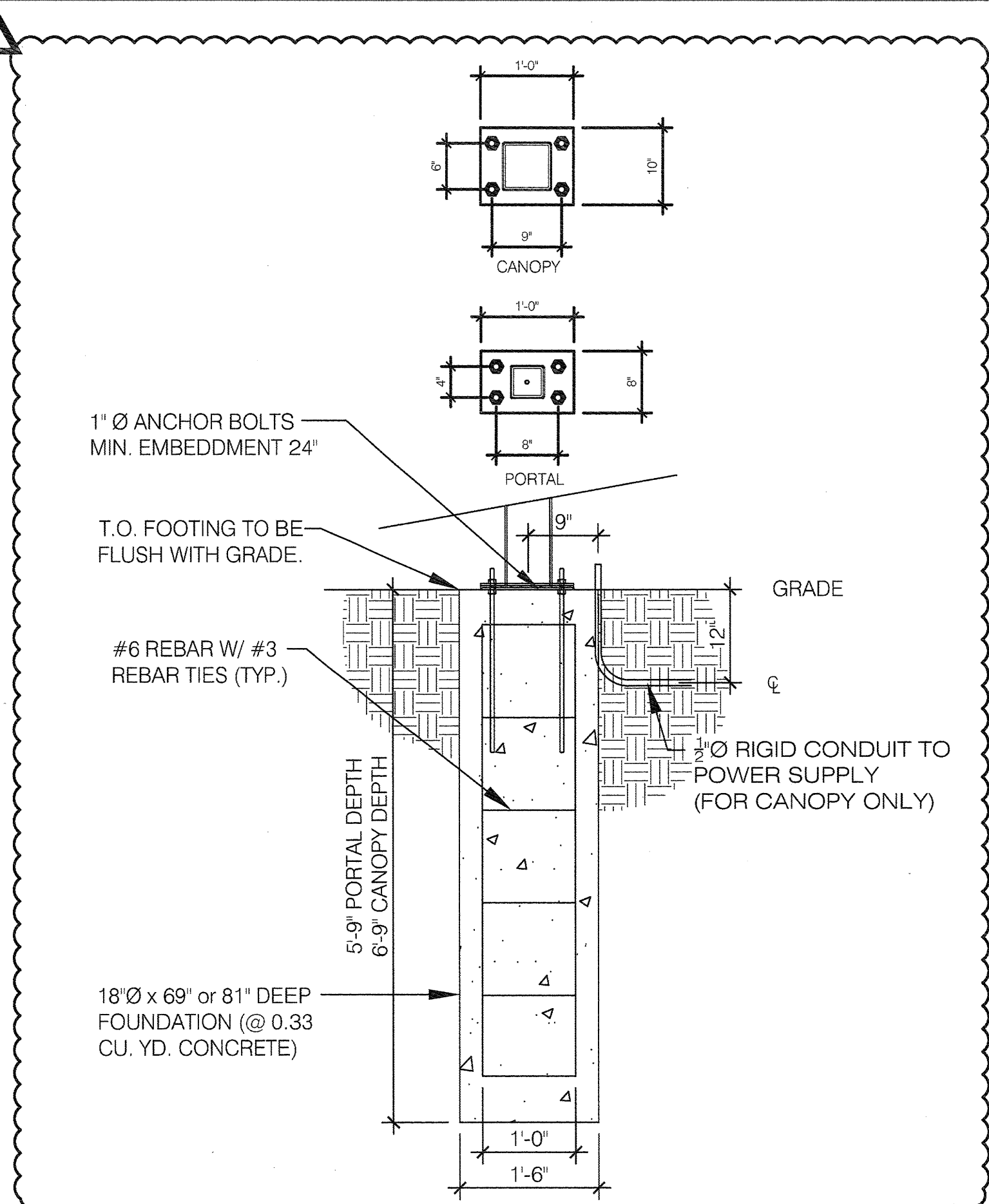


DRIVE-THRU COMMUNICATIONS ISOMETRIC N.T.S. 16

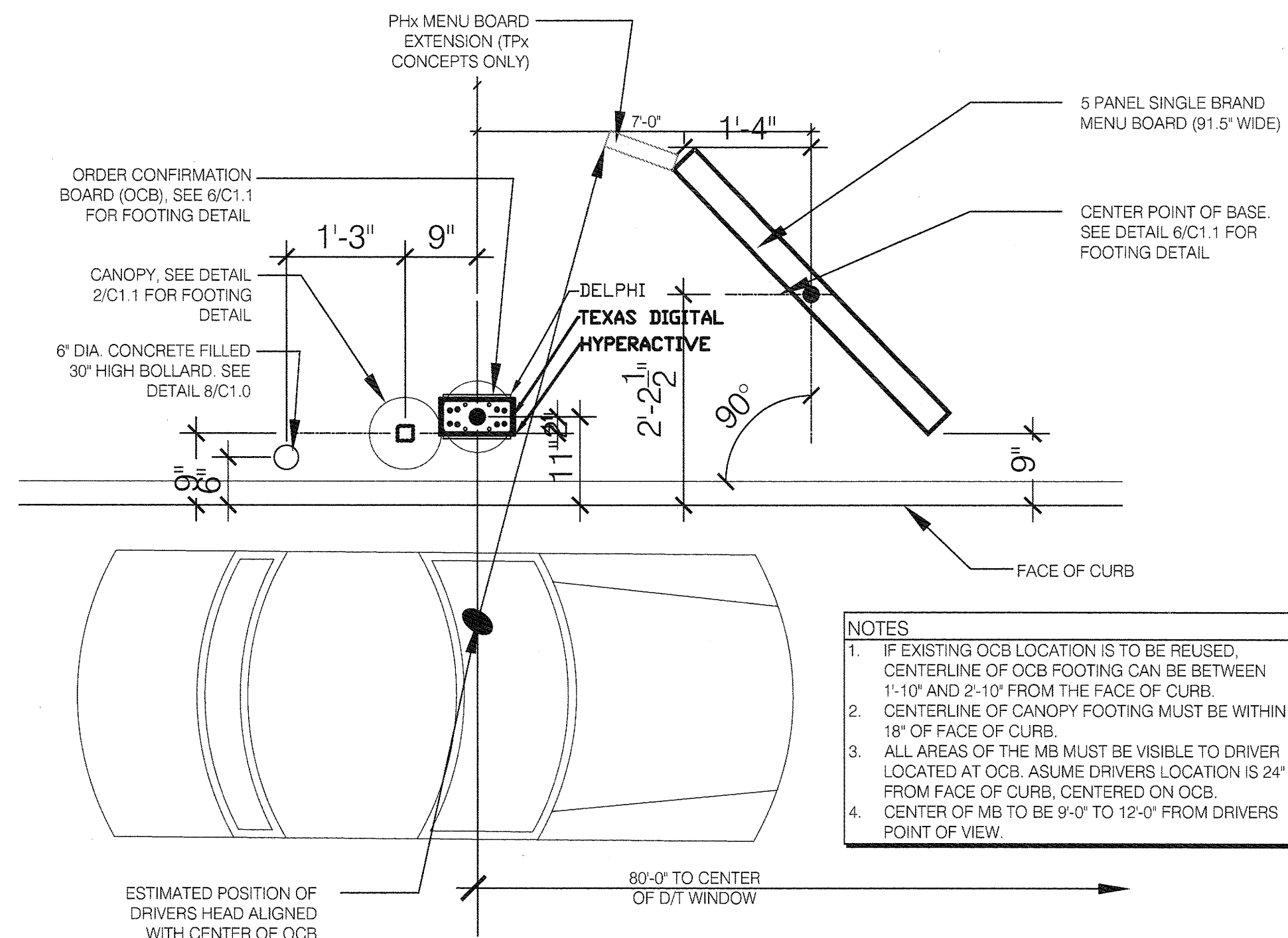


TCS011

BOLLARD DETAIL 3/4" = 1'-0" 8



EVOLUTION FOOTINGS 1:16 SCALE 4



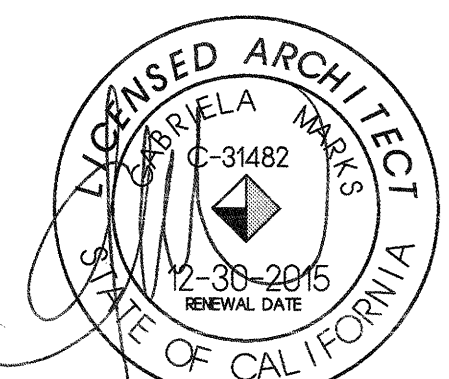
TCS008B

ENLARGED MENU BOARD DETAIL @ STRAIGHT CURB 3/8" = 1'-0" 2

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BUILDING DEPT CORR.	01.08.16
BUILDING DEPT CORR.	03.01.16

CONTRACT DATE:
BUILDING TYPE: M70HD
PLAN VERSION: MAR 2014
SITE NUMBER:
STORE NUMBER: 019515

TACO BELL
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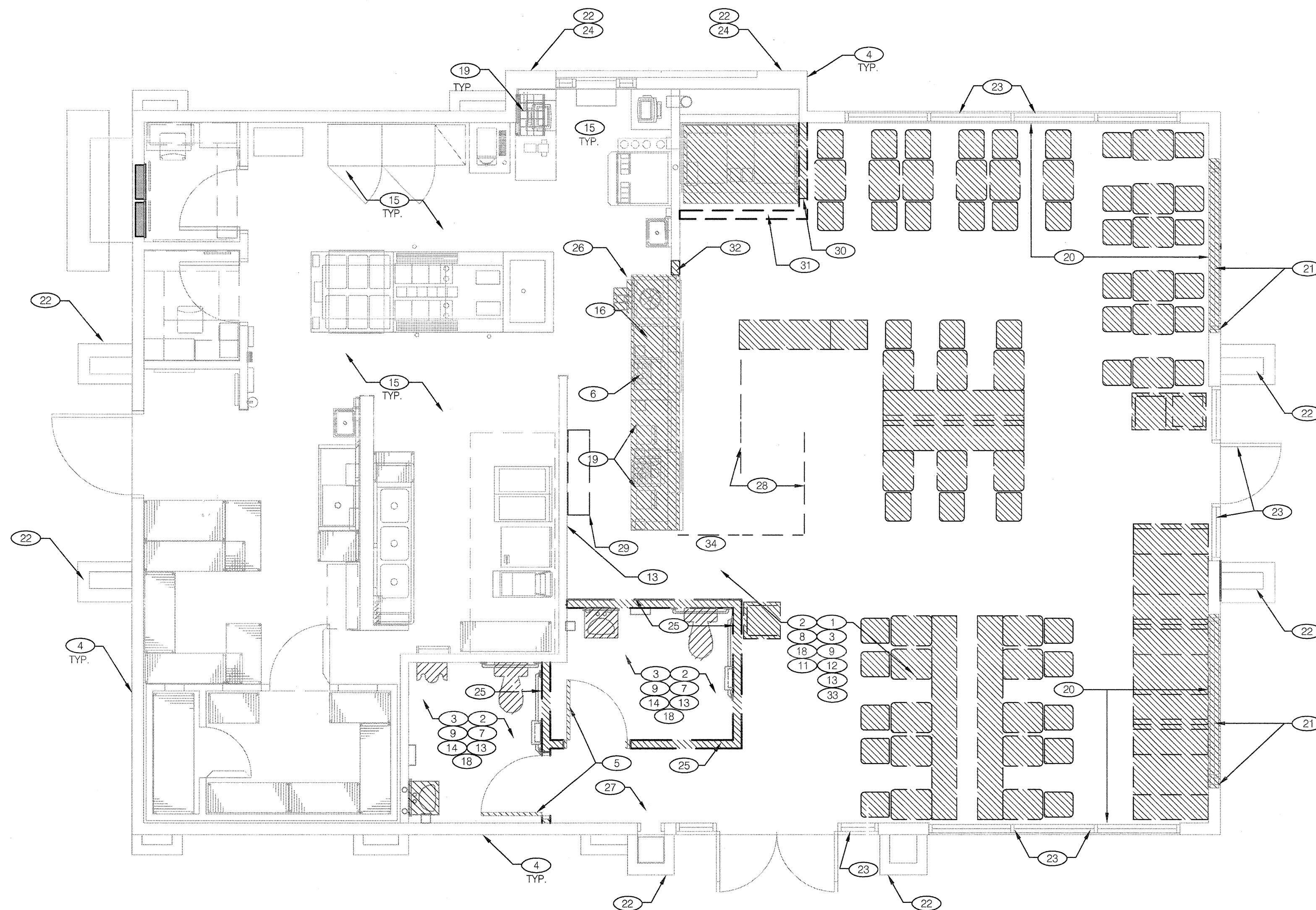


LIVE MAS
M70HD
CITY OF SAN JOSE
BUILDING DIVISION

SITE DETAILS

A0.2

PLOT DATE:



DEMOLITION FLOOR PLAN 1/4"=1'-0" A

- TYPICAL EXISTING EXTERIOR WALL:
2x6 WOOD STUDS @16" O.C. w/ 1/2"
PLYWOOD (EXP 1) SHEATHING.
- TYPICAL EXISTING INTERIOR WALL TO
REMAIN: 2x4 WOOD STUDS @16" O.C.
(U.N.O.)
- DEMO ITEMS AS INDICATED (SEE KEY NOTES)

DEMOLITION LEGEND F

- A. INSPECT INTERIOR AND EXTERIOR WALLS. REPLACE ANY DAMAGED SUBSTRATE WALLS ETC. INSPECT DINING ROOM WINDOWS & WALLS BELOW WINDOWS FOR EVIDENCE OF MOISTURE DAMAGE & IMPROPERLY INSTALLED FLASHING. VERIFY WITH OWNER.
- B. ROOF RECOMMENDATIONS: INSPECTION OF EXISTING ROOF BY QUALIFIED ROOFER IS RECOMMENDED. REPLACE ROOF IF WARRANTED. VERIFY ALL ACTIONS WITH OWNER.
- C. SEE SITE PLAN FOR ANY SITE DEMO WORK.
- D. DRINK SYSTEM FRUITISTA MACHINE SHALL BE TEMPORARILY RELOCATED PER STORE MANAGERS DIRECTION BY AUTHORIZED TECHNICIANS. OWNER SHALL COORDINATE.

DEMOLITION NOTES D

- 1 REMOVE ALL DINING AREA SEATS, TABLES, TRASH ENCLOSURES, DIVIDER WALLS, PLANTS, QUEUING LINE & DRINK STATION.
- 2 REMOVE ALL EXISTING TILE FLOORING & COVE BASE. IN DINING AREA, CUSTOMER AREA, CORRIDOR, WOMEN'S RESTROOM & MEN'S RESTROOM.
- 3 SAVE EXISTING SPEAKERS, SECURITY EQUIPMENT & SMOKE DETECTORS FOR REINSTALLATION. SEE REFLECTED CEILING PLAN.
- 4 PATCH STUCCO/EFS AS REQUIRED. MATCH TEXTURE.
- 5 REMOVE EXISTING RESTROOM DOORS AND FRAMES.
- 6 REMOVE EXISTING COUNTER STRUCTURE.
- 7 REMOVE ALL RESTROOM FIXTURES AND ACCESSORIES. TO BE RESET AFTER TILE INSTALLATION.
- 8 REMOVE MECHANICAL REGISTERS.
- 9 REMOVE EXISTING FLUORESCENT LIGHT FIXTURES WITHIN THE DINING ROOM, CORRIDOR AND RESTROOM.
- 10 NOT USED.
- 11 EXISTING DINING ROOM SOFFITS AND BULKHEADS TO REMAIN. PATCH, REPAIR, AND PAINT.
- 12 PATCH CONCRETE SLAB AND CORE HOLES AS NEEDED.
- 13 REMOVE EXISTING WALL TILE & SUBSTRATE IN DINING ROOM, RESTROOM AND CORRIDOR.
- 14 REMOVE AND REPLACE EXISTING SINKS, URINAL & ACCESSORIES FOR INSTALLATION OF NEW TILE.
- 15 PROTECT EXISTING EQUIPMENT FROM DUST AND DEBRIS.
- 16 SAFE TO BE RELOCATED.
- 17 NOT USED.
- 18 REPAIR WALL DAMAGE WHERE TILE AND TILE BASE ARE REMOVED.
- 19 POS REGISTERS SHOULD NOT BE DISCONNECTED FROM NETWORK UNLESS PAR TECHNICIAN IS PRESENT. RELOCATE DURING CONSTRUCTION.
- 20 EXISTING SUBSTRATE TO BE REMOVED BELOW EXISTING WINDOWS TO INSPECT FRAMING FOR DAMAGE. REPLACE IF REQUIRED.
- 21 REMOVE WINDOW FRAME AND GLAZING.
- 22 EXISTING TOWER TO BE MODIFIED. SEE WALL SECTIONS FOR EXTENT OF DEMOLITION.
- 23 PROTECT EXISTING STOREFRONT & DOOR OR WINDOW & FRAME TO REMAIN.
- 24 EXISTING FINISH TO BE REMOVED. SEE D3.0.
- 25 EXISTING INTERIOR WALL TO BE REMOVED AS INDICATED.
- 26 IF FRUITISTA MACHINE IS LOCATED ON SERVICE COUNTER IT MUST BE MOVED TO ALLOW INSTALL OF NEW COUNTER. OWNER SHALL COORDINATE W/ AUTHORIZED SERVICE TECHNICIAN.

- 27 DEMO CLOSET DOOR AND FRAME IF IN POOR CONDITION.
- 28 DEMO QUEUE RAIL.
- 29 DEMO CUP HOLDER.
- 30 DEMO INTERIOR NON-BEARING WALL.
- 31 DEMO SOFFIT.
- 32 DEMO PORTION OF WALL.
- 33 REMOVE (E) CEILING TILES IN DINING ROOM. (E) FLEX DUCTWORK, SOFFITS AND GRID TO REMAIN.

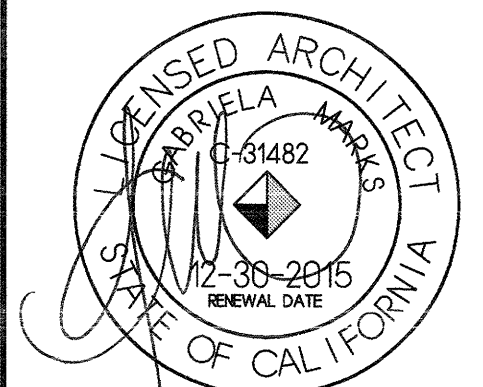
DEMOLITION KEY NOTES B

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BUILDING DEPT. SUBMITTAL 8.6.15

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CONTRACT DATE:
BUILDING TYPE: M70HD
PLAN VERSION: MAR 2014
SITE NUMBER:
STORE NUMBER: 019515

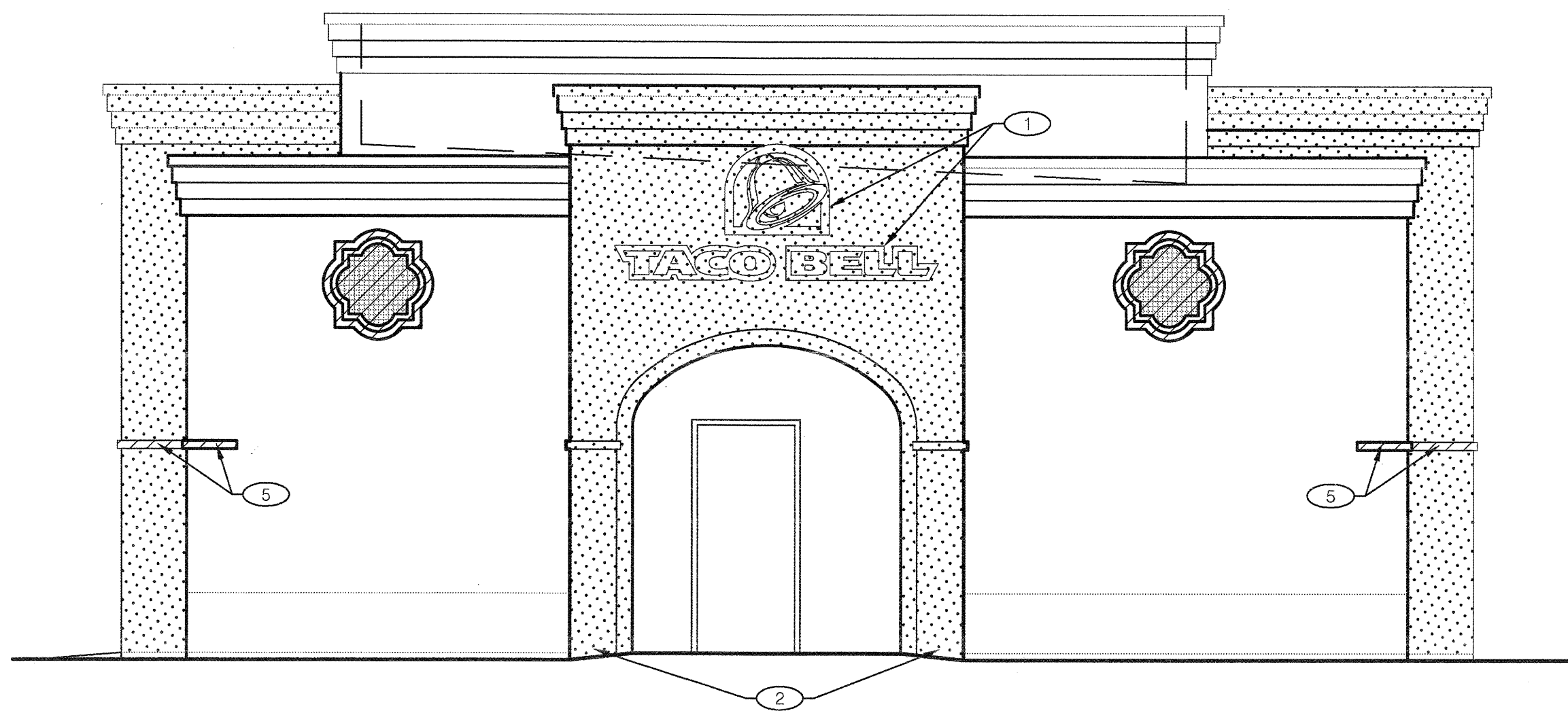
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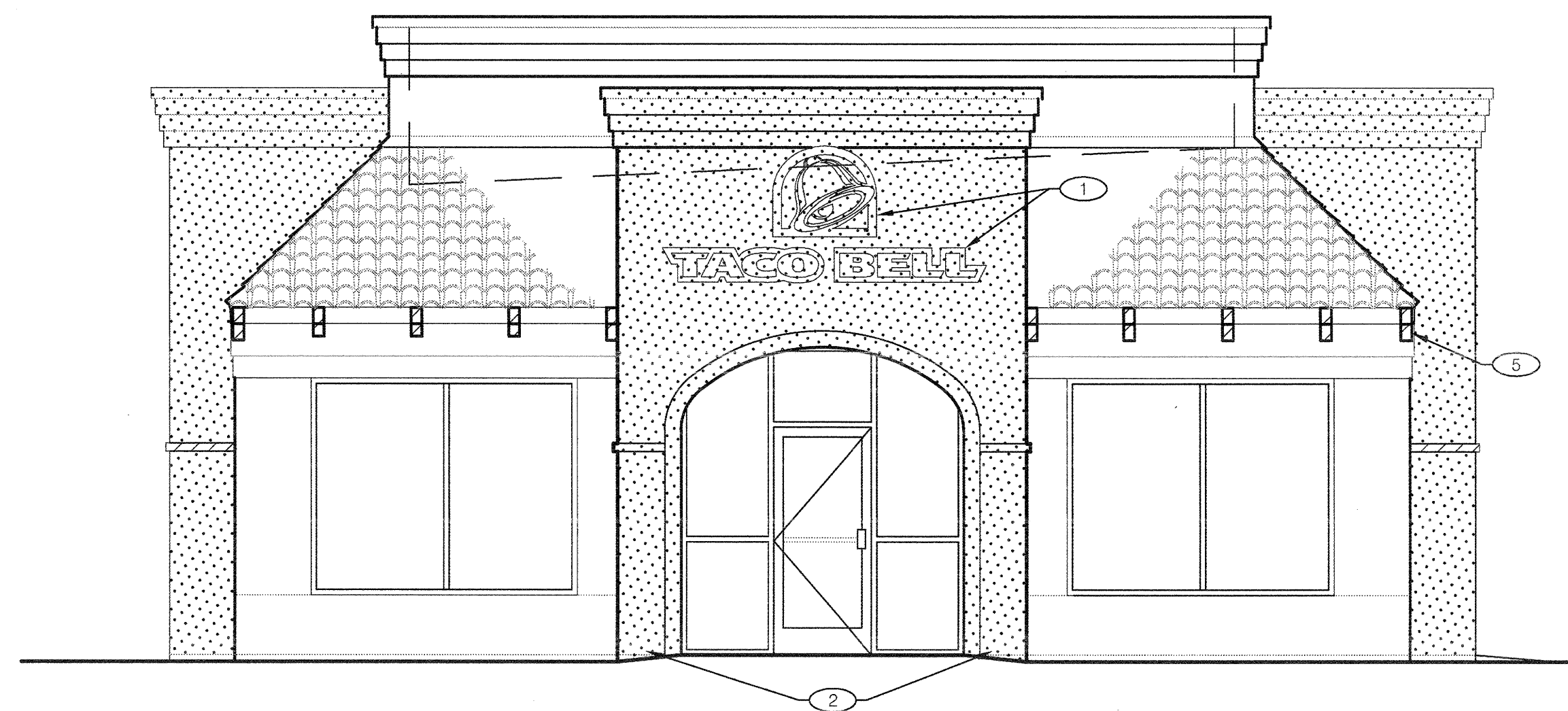
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M70HD
DEMOLITION
FLOOR
PLAN

D1.0

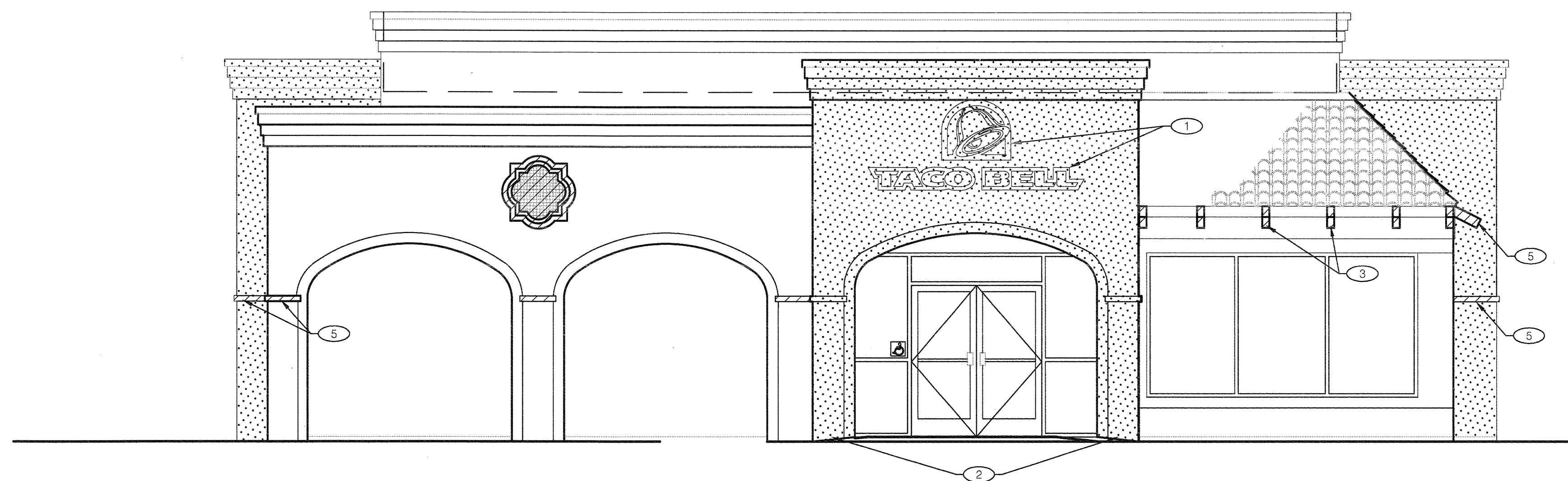
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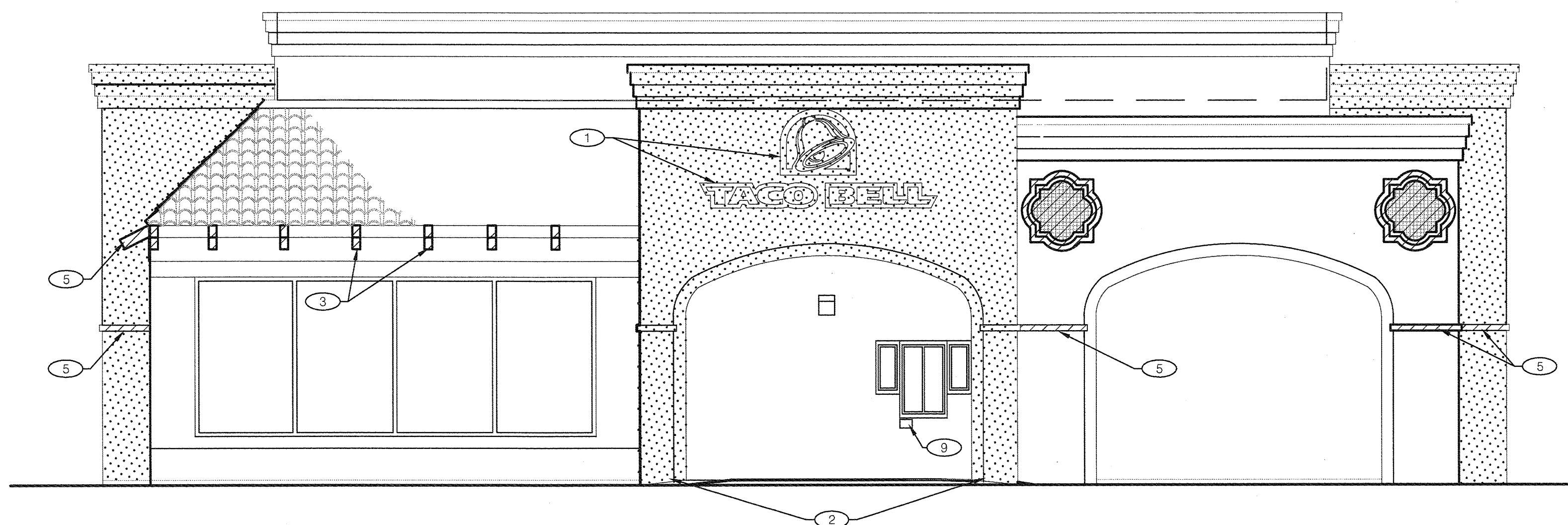
REAR ELEVATION 1/4" = 1'-0" F



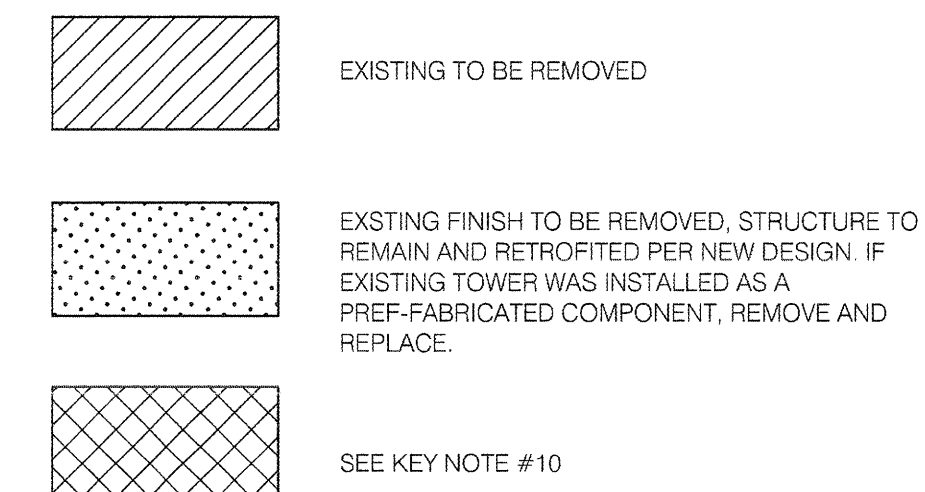
FRONT ELEVATION 1/4" = 1'-0" A



WALK UP SIDE ELEVATION 1/4" = 1'-0" D



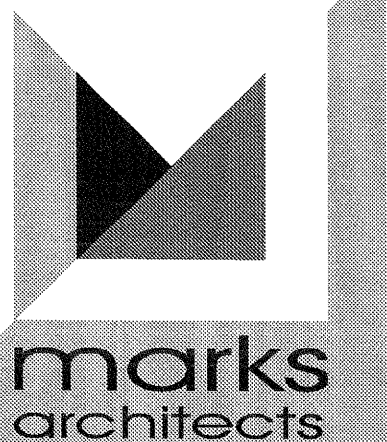
DRIVE THRU SIDE ELEVATION 1/4" = 1'-0" E



DEMOLITION LEGEND B

- ① EXISTING BUILDING SIGNS TO BE REMOVED.
- ② EXISTING TOWER FINISH TO BE REMOVED. EXISTING ROOF DRAINS WITHIN TOWER TO REMAIN.
- ③ REMOVE RAFTER TAILS
- ④ NOT USED
- ⑤ EXISTING FINISH TO BE REMOVED. STRUCTURE TO REMAIN. SEE DEMOLITION LEGEND.
- ⑥ NOT USED.
- ⑦ DEMO PORTION OF TOWER, AS SHOWN
- ⑧ EXISTING SIGN TO REMAIN, IF EXISTING.
- ⑨ DEMO PRICE CONFIRMATION PATCH AS REQUIRED.
- ⑩ DEMO BACKLIT AWNING IF PRESENT. IF THIS AREA IS A FRAMED SOFFIT. NO CHANGES ARE REQUIRED.

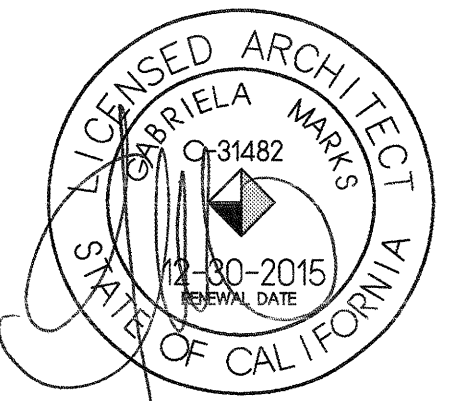
KEYNOTES C



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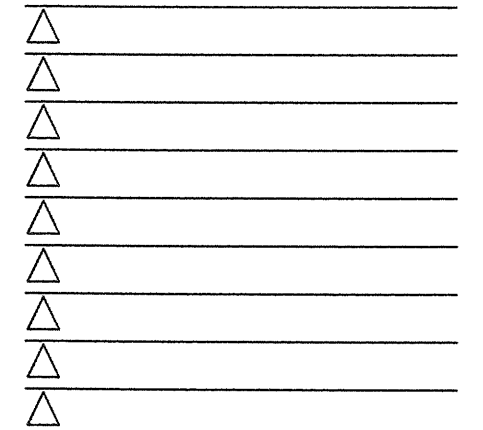
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PLAN VERSION: MAR 2014
SITE NUMBER:
STORE NUMBER: 019515

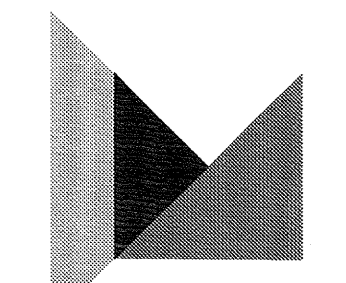
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DEMOLITION
EXTERIOR
ELEVATIONS

D3.0

PLOT DATE:

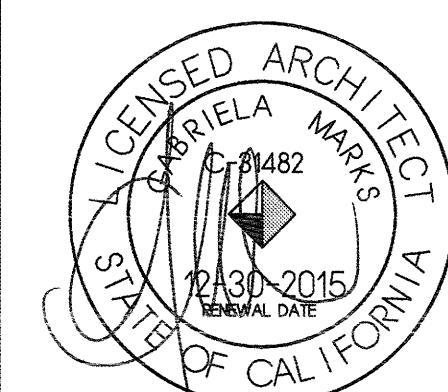


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BUILDING DEPT. SUBMITTAL 8.6.15

HEALTH DEPT. CORR. 10.06.15

CONTRACT DATE:

BUILDING TYPE: M70HD

PLAN VERSION: MAR 2014

SITE NUMBER:

STORE NUMBER: 019515

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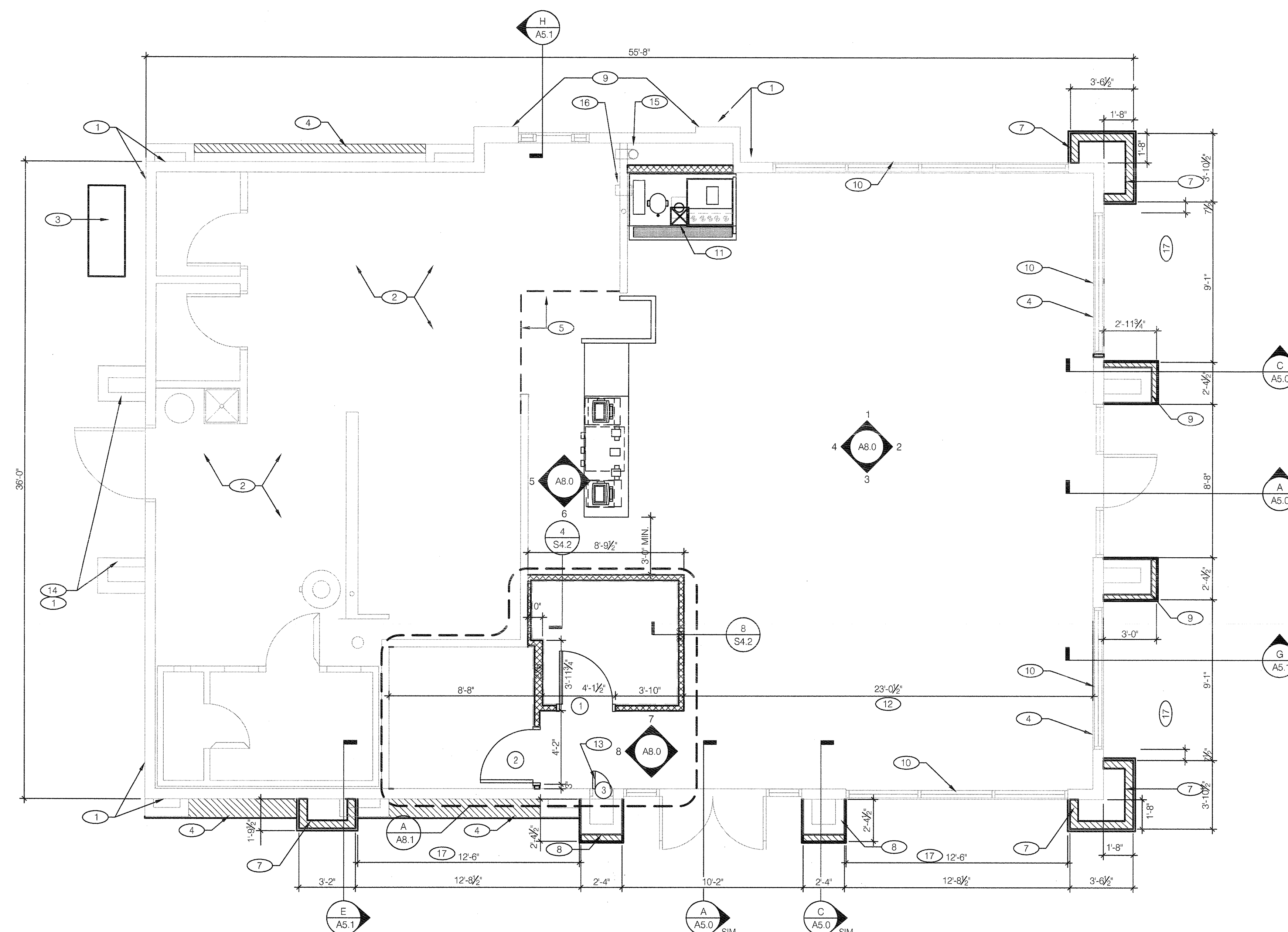
LIVE MAS

M70HD

FLOOR
PLAN

A1.0

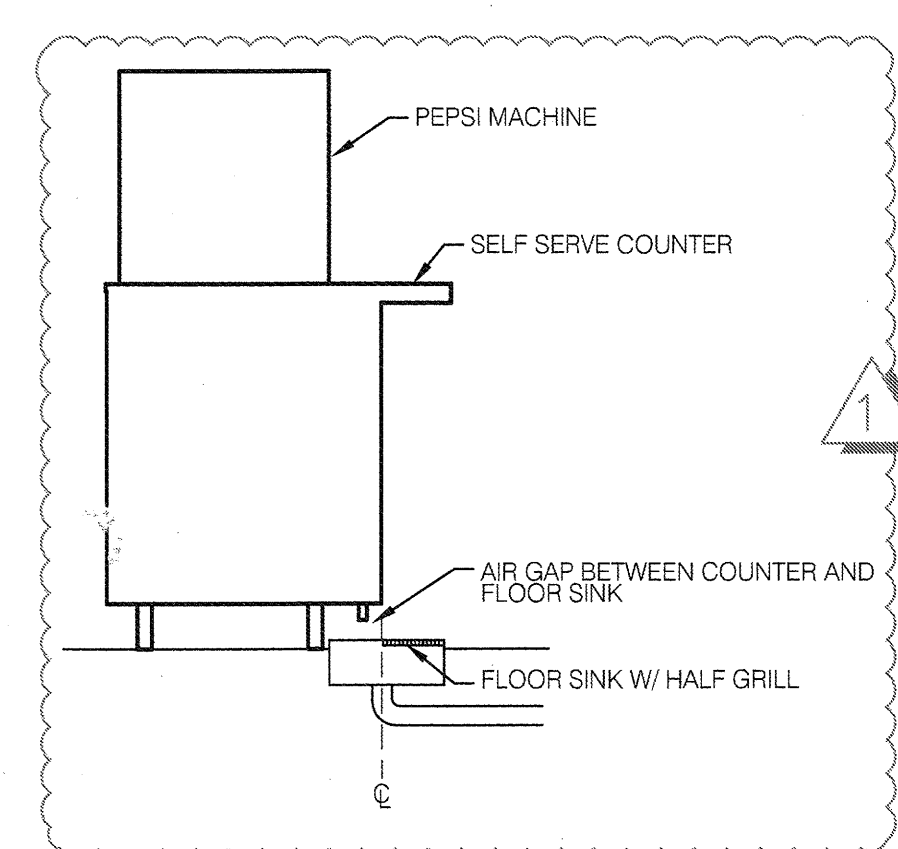
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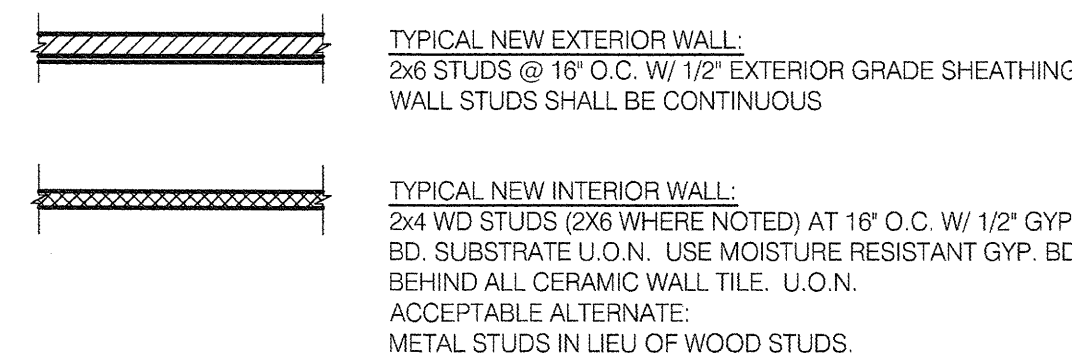
NOTE:
NO SURFACE PIPING PROPOSED.



FLOOR PLAN 1/4"=1'-0" A



FLOOR SINK HALF GRILL NTS E



WALL LEGEND D

DECOR:
A. SEE A2.0 FOR SEATING PLAN AND DETAILS.
B. SEE A7.0 FOR FLOOR FINISHES.
C. SEE A8.0 - A8.2 FOR WALL FINISHES.
D. SEE A7.1 FOR CEILING FINISHES.

GENERAL:
A. DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.
B. ALL ATTACHMENTS MADE THROUGH E.I.F.S. SHALL BE BUSHED TO PREVENT DAMAGE TO THE FINISH.
C. ALL PENETRATIONS THROUGH E.I.F.S. SHALL BE SEALED USING MFR'S. APPROVED METHOD.

DIMENSIONS:
A. DIMENSIONS THAT ORIGINATE FROM EXISTING ELEMENTS OF THE BUILDING ARE FROM FACE OF FINISH. ALL OTHER DIMENSIONS ARE TO FACE OF STUD U.O.N. REFER TO FOUNDATION PLAN FOR FACE OF CONC. DIMENSIONS.
B. DIMENSIONS NOTED AS 'CLEAR' OR 'HOLD' ARE MIN. REQ'D. NET CLEARANCE FROM FACE OF WALL / WAINSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.

WINDOWS / DOORS:
A. SEE SCHEDULE FOR WINDOW AND DOOR TYPES.
B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.

FINISH SUBSTRATES:
A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 12" A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES. U.O.N.
B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH "NSF INTERNATIONAL" APPROVED SEALANTS.

FLOOR PLAN NOTES C

- 1 PATCH STUCCO OR E.I.F.S. AS NEEDED.
- 2 PROTECT KITCHEN EQUIPMENT DURING CONSTRUCTION. CONSTRUCT PLYWOOD BARRIER WITH SWING GATE.
- 3 EXISTING ELECTRICAL MAIN SWITCH BOARD. REFER TO ELECT. DWGS.
- 4 EXISTING WINDOW.
- 5 ERECT DUST BARRIER TO PROTECT KITCHEN DURING CONSTRUCTION.
- 6 REPLACE EXISTING WINDOW WITH RECTANGULAR WINDOW. SEE ELEVATIONS, A1.1 & A4.0.
- 7 NEW PILASTER.
- 8 MODIFY EXISTING TOWER. KEEP TOWER STRUCTURE. SEE A4.0. AND STRUCTURAL DRAWINGS.
- 9 MODIFY EXISTING TOWER. KEEP TOWER STRUCTURE. SEE A4.1. AND STRUCTURAL DRAWINGS.
- 10 REPLACE SUBSTRATE AS REQUIRED.
- 11 REPOSITION FLOOR SINK AS SHOWN, IF IT IS BEHIND NEW WALL.
- 12 COORDINATE DIMENSION WITH STOREFRONT LOCATION.
- 13 REPLACE CLOSET DOOR AND FRAME IF IN POOR CONDITION.
- 14 REAR TOWER MODIFY AS SHOWN ON A4.1.
- 15 6" PVC CHASE FROM 12" A.F.F. TO ABOVE CEILING. EXTEND 3' THROUGH WALL.
- 16 6" PVC CHASE THROUGH WALL AT 12" A.F.F.
- 17 HOLD FINISH TO FINISH DIMENSION FOR ARCHITECTURAL SLAT WALL.

KEY NOTES B

* USE FALCON D271 IF LIMITED STRIKE SIDE CLEARANCE DOES NOT PERMIT LATCH

C

ACCESS REQUIREMENTS

2. THE BOTTOM 10" OF ALL DOORS SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE

PUSH PLATE OR HANDLE, WHERE SCHEDULED SIGN WHERE REQUIRED

3'-6"

7'-0"

10"

FINISH FLOOR

FINISH FLOOR

3'-0"

3'-0"

5'-0"

DL-1

KICKPLATE

UNDERCUT DOOR

10" SMOOTH UNINTERRUPTED SURFACE

STOREFRONT SYSTEM

(A)

(B)

B

A

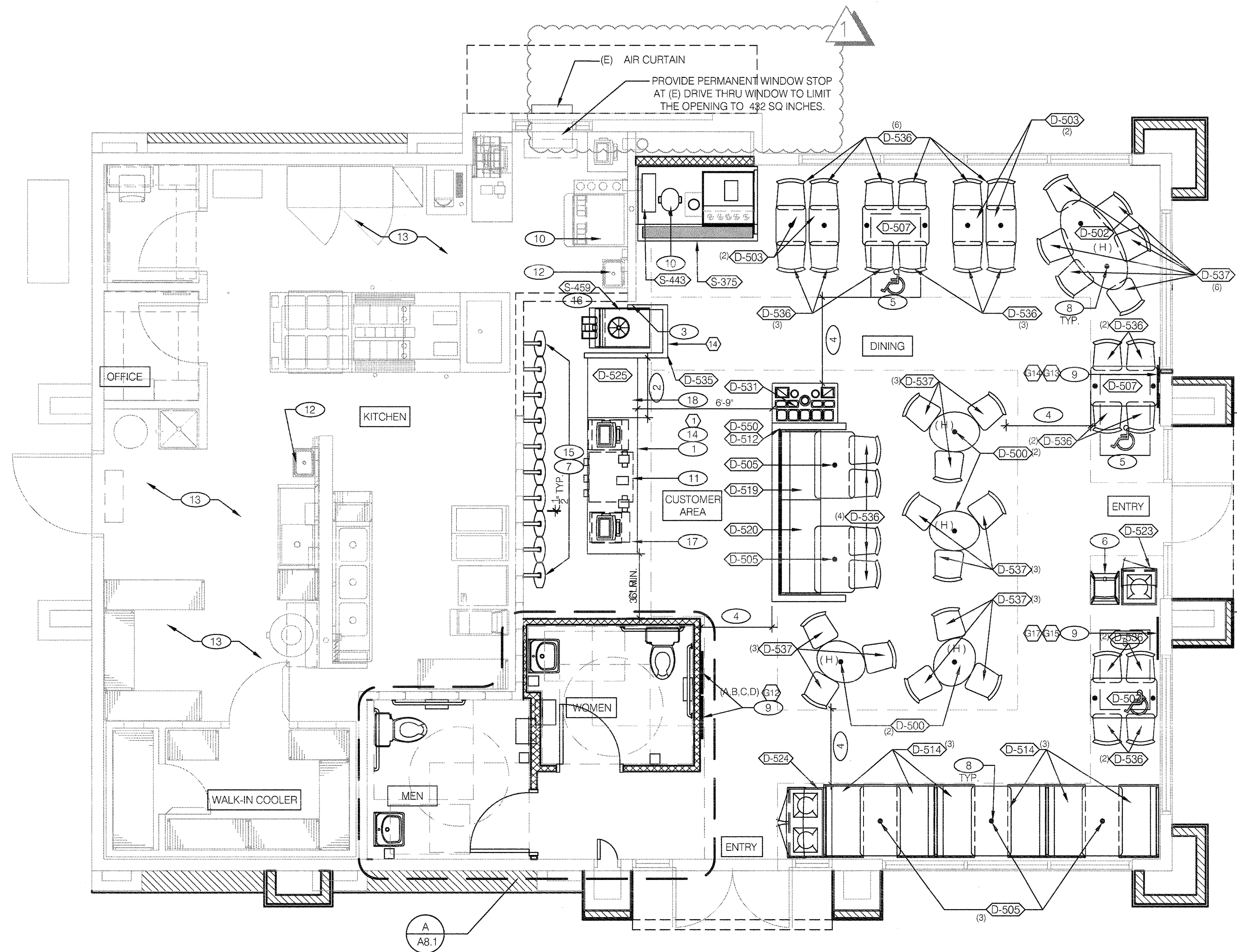
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PLOT DATE:

DOOR SCHEDULE NOTES



NEW EQUIPMENT SCHEDULE

NO.	QTY	G.C. INST.	ITEM DESCRIPTION	MFR. & MODEL NUMBER	PLUMB	ELECT	GAS	NO.
S-375	1	X	SELF SERVE DRINK COUNTER 72"	CARTER HOFFMAN #CH3TDS72N55				S-375
S-443	1		18"Hx23"Dx10"W STRAW - LID DISPENSER	CAL-MIL ADA TB103				S-443
S-459	1		FRUITISTA CART	WST1306YA				S-459

GENERAL NOTES:
G.C. SHALL PROVIDE A CLEAR SILICONE SEAL JOINT AT ALL PERMANENTLY MOUNTED EQUIPMENT, COUNTERS AND CEILING GRID THROUGHOUT THE ENTIRE STORE. MASKING TAPE SHALL BE USED ON JOINTS EXCEEDING 1/4" TO PROVIDE A COVED CORNER.



SEATING AND EQUIPMENT PLAN 1/4"=1'-0" A

SYM.	QTY.	ITEM	REMARKS
D-500	4	24"x30" OVAL TABLE	CORE DRILL MOUNTED LAMINATED TABLES
D-502	1	30"x60" OVAL TABLE	CORE DRILL MOUNTED LAMINATED TABLES
D-503	4	18"x24" TABLE	CORE DRILL MOUNTED LAMINATED TABLES
D-505	5	24"x40" TABLE	CORE DRILL MOUNTED LAMINATED TABLES
D-507	3	24"x40" ACCESSIBLE TABLE	CORE DRILL MOUNTED LAMINATED TABLES HC ACCESSIBLE
D-512	1	DIVIDER WALL	TACO BELL DIVIDER WALL 108"
D-514	6	48" SBENCH	TACO BELL OPEN BACK SETTEE BENCH
D-519	1	42" BENCH	TACO BELL BACKLESS SETTEE BENCH
D-520	1	57" BENCH	TACO BELL BACKLESS SETTEE BENCH
D-523	1	TRASH STATION SINGLE	TACO BELL LAMINATED TRASH RECEPTACLE
D-524	1	TRASH STATION DOUBLE	TACO BELL LAMINATED TRASH RECEPTACLE
D-525	1	FRONT COUNTER	TACO BELL MODULAR COUNTER SYSTEM
D-531	1	CONDIMENT COUNTER	TACO BELL CONDIMENT COUNTER - SQUARE CORNERS
D-535	1	SHROUD	EQUIPMENT SHROUD
D-536	24	LOW CHAIRS	FORMED WOOD SHELL DINING CHAIR
D-537	22	HIGH CHAIRS	FORMED WOOD SHELL DINING CHAIR - BAR HEIGHT
D-550	1	97" RECTANGULAR SOFFIT	

SEATING PACKAGE (TOTAL SEATS = 58)

E

SYM.	QTY.	ITEM	REMARKS
D-512 (A)	1	TASTE EXPLOSION 1 OF 4	SEE A8.0 FOR LOCATION
D-512 (B)	1	TASTE EXPLOSION 2 OF 4	SEE A8.0 FOR LOCATION
D-512 (C)	1	TASTE EXPLOSION 3 OF 4	SEE A8.0 FOR LOCATION
D-512 (D)	1	TASTE EXPLOSION 4 OF 4	SEE A8.0 FOR LOCATION
D-513	1	VOLCANO TARGET	SEE A8.0 FOR LOCATION
D-514	1	NYC TACO TAXI	SEE A8.0 FOR LOCATION
D-515	1	TACO NIGHT TIME	SEE A8.0 FOR LOCATION
D-516	1	TACO BEACH BELL	SEE A8.0 FOR LOCATION
D-550	1	NUTRITION BOARD	SEE A8.0 FOR LOCATION

ARTWORK SCHEDULE

D

- "HOLD" DIMENSIONS ARE FROM FACE OF FINISH.
- G.C. TO CONFIRM "HOLD" DIMENSIONS WITH EQUIPMENT MFR / VENDOR.
- TILE CHIPPING AROUND CORE DRILL HOLES FOR SEATING WILL NOT BE ACCEPTED.
- ALL DIMENSIONS FOR SEATING / CORE DRILL PLAN SHALL BE FROM FACE OF GYP BD.
- VERIFY ALL DIMENSIONS WITH SEATING VENDOR PRIOR TO INSTALLATION.
- REFER TO SC SHEETS FOR SCOPE OF WORK RESPONSIBILITIES.
- SEE INTERIOR ELEVATIONS A8.0-A8.1 FOR LOCATION OF OWNER SUPPLIED ARTWORK.
- PROVIDE THE FOLLOWING HARDWARE FOR EACH CABINET DOOR:
KNOB: STANLEY 4482 (1 EA)
CATCH: STANLEY SP35 (1 EA)
HINGE: STANLEY 1588 (2 EA)
- (H) - SYMBOL DENOTES A HIGH TABLE OR DINING COUNTER WITH STOOLS
- ALL SOLID SURFACES TO BE PROPERLY SEAMED PER MFRS SPECIFICATIONS
- PAINT UNDERSIDE OF SERVICE COUNTER WITH WHITE GLOSS PAINT, AND PROVIDE METAL ANGLE LEDGER FOR END OF COUNTER IF VENDOR DOES NOT PROVIDE ONE.

SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

SEATING PLAN NOTES

C

- SERVICE COUNTER.
- 36" MIN. CLEAR COUNTERTOP REQUIRED PER ADA.
- CORNER GUARD. SEE DETAIL 8/A6.0.
- MAINTAIN MINIMUM 3'-8" CLEAR PATH OF EGRESS.
- 30" x 48" CLEAR FLOOR SPACE FOR HANDICAP SEATING POSITION
- HIGH CHAIR BY OWNER.
- REVOLUTION MENUBOARD. CENTER ON REGISTERS. ADD NEW IF NOT EXISTING.
- DOT INDICATES CORE DRILL LOCATION. CORE DRILL LAYOUT TO BE PROVIDED BY THE SEATING VENDOR. SEE DETAIL 2/A6.0 AND SCOPE OF WORK.
- ARTWORK. SEE ELEVATIONS SHEET A8.0 FOR SIZE AND LOCATION.
- RELOCATE TEA URNS AND/OR BREWER AS SHOWN.
- INSTALL UNDER COUNTER CUP DISPENSER WITH ANGLED BRACKETS
- EXISTING HANDSINKS
- KITCHEN - NO MODIFICATIONS EXCEPT AS NOTED.

- REWORK EXISTING POWER FOR POS ITEMS ON NEW ORDER COUNTER.
- PROVIDE 120 V OUTLET @ 108" A.F.F. FOR MENUBOARD. VERIFY, MAY BE EXISTING.
- LOCATE EXISTING FRUITISTA MACHINE ON CART.
- HOLES FOR POS CASH REGISTER POWER AND DATA LINE SHOULD BE FIELD CUT BY GC PRIOR TO POS SETUP (TYP).
- RELOCATE THE BRINKS SAFE FROM THE OFFICE TO BELOW THE EXPEDITE SECTION OF THE SERVICE COUNTER. SEE DETAIL 5/A6.0.

KEY NOTES

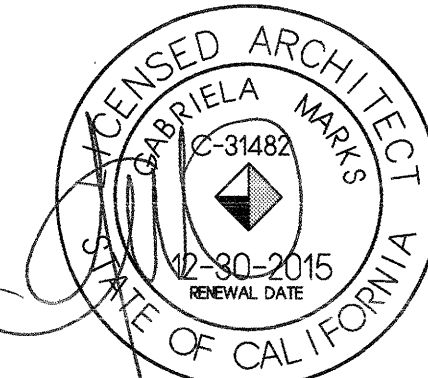
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STORE NUMBER: 019515

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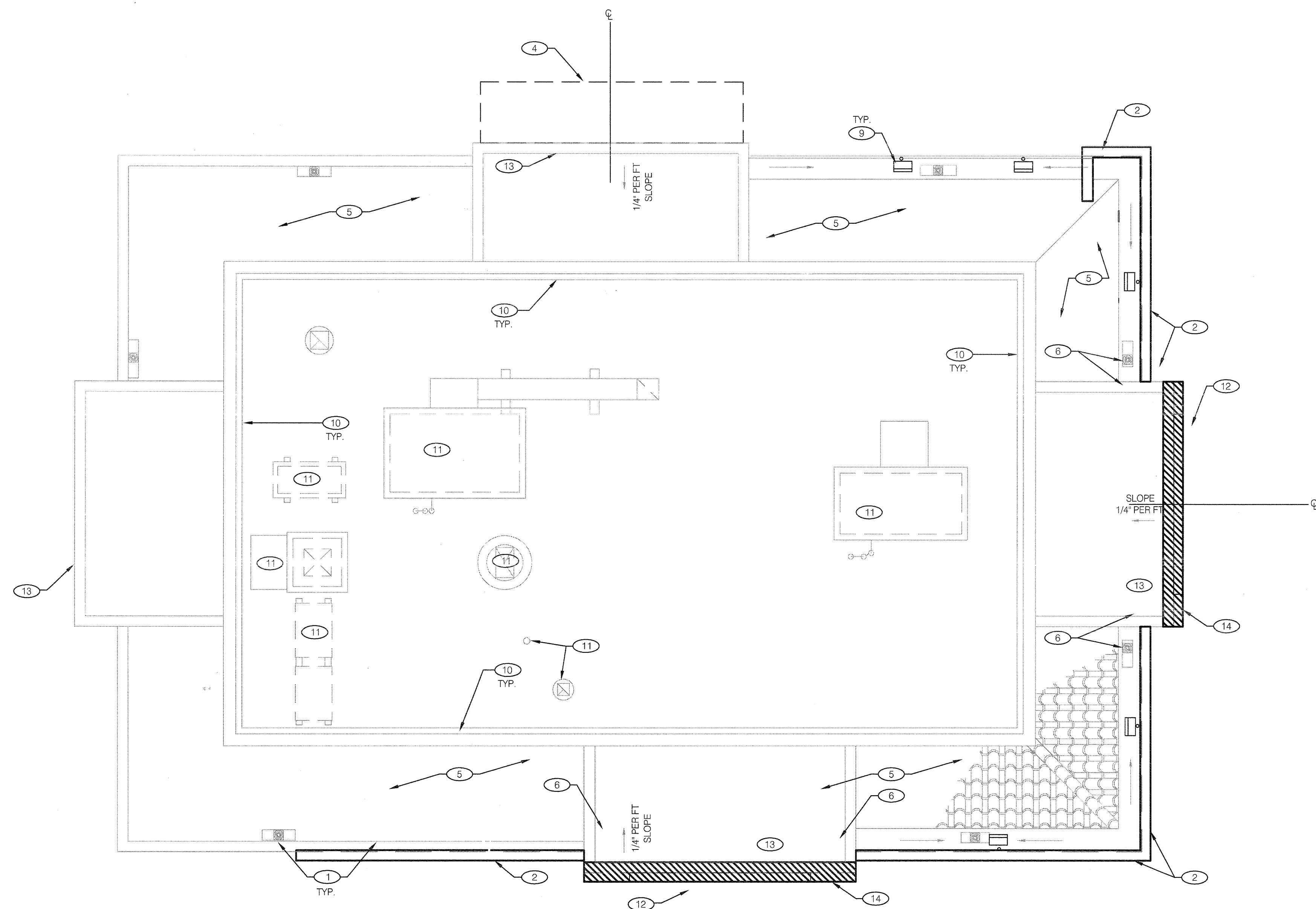
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SEATING
PLAN

A2.0

PLAT DATE:



ROOF PLAN 1/4"=1'-0" **A**

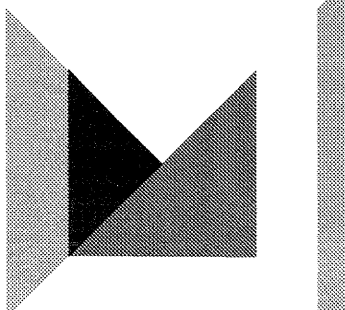
- | | |
|--|---|
| <ul style="list-style-type: none"> (1) EXISTING ROOF DRAINS (2) OUTLINE OF NEW ROOF PERIMETER. (3) NOT USED. (4) NEW CANOPY BY OWNER. (5) PATCH AND REPAIR EXISTING ROOF OF ANY AREA DISTURBED BY THIS WORK. EXISTING FLOOD LIGHTS TO REMAIN WHERE OCCURS. (6) COORDINATE EXISTING ROOF DRAIN PLUMBING WITH NEW STRUCTURE AND MODIFY AS NECESSARY. (7) NOT USED (8) NOT USED (9) EXISTING MANSARD LIGHTS. VERIFY THAT MANSARD LIGHTS ARE OPERATIONAL. IF NOT REPAIR AS NECESSARY. IF FIXTURES ARE NOT PRESENT INSTALL PER THIS PLAN. NEW FIXTURES SHALL BE PAR LIGHTING #FFH-70 W/ 70W METAL HALIDE LAMPS. FIXTURES TO BE CIRCUITED THROUGH ENERGY MANAGEMENT SYSTEM. (10) PROVIDE RAILING, MIN. 42" ABOVE ROOF DECK AROUND ANY SERVICEABLE ROOFTOP EQUIPMENT OR ROOF HATCH WITHIN 10'-0" OF ROOF EDGE, IF EXISTING PARAPET DOES NOT PROVIDE SUFFICIENT HEIGHT. (11) REPLACE OR RE-COMMISSION TO CURRENT DESIGN LOAD. (12) ENTRY OVERHANG (13) MODIFY EXISTING TOWER. SEE EXTERIOR ELEVATIONS SHEET A4.0 AND A4.1 | <ul style="list-style-type: none"> (14) REPLACE METAL COPING AT FURRED TOWERS. |
|--|---|

NOT USED **F**

NOT USED NTS **E**

NOT USED **D**

KEY NOTES **B**

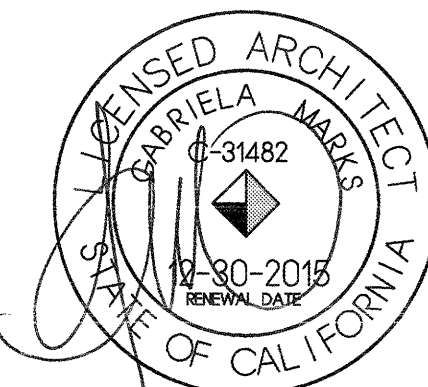


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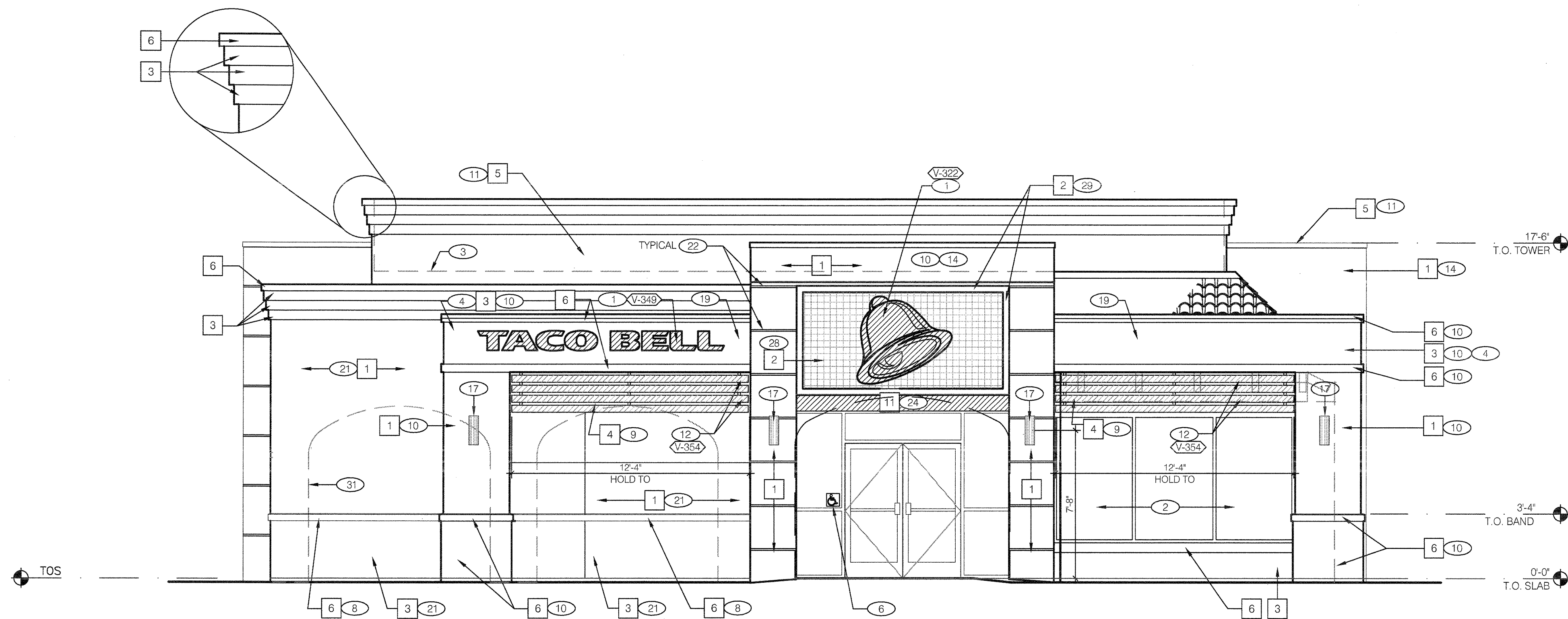


LIVE MAS
M70HD

**ROOF
PLAN**

A3.0

PLOT DATE:



SIGNS UNDER A SEPARATE PERMIT
BY SIGN VENDOR.

REFACE POLE SIGN WITH NEW LOGO AND
RETROFIT WITH LED LIGHTING.
RETROFITTING WITH LED IS REQUIRED FOR
COMPANY STORES AND OPTIONAL FOR
FRANCHISEES.

RIGHT SIDE ELEVATION 1/4"=1'-0" A

QTY	ITEM DESCRIPTION	ELEC
V-322 2	TACO BELL 'BELL' SIGN 4'-10 1/2"W x 4'-6 1/4"H WITH WHITE BACK AND 5-1/2" STAND-OFFS	X
V-349 2	TACO BELL LETTERS 12" HIGH, WHITE, FLAT FACED	X

SIGN SCHEDULE N.T.S. D

V-308 1	TB DT CANOPY 14'-6" W/TB LETTERS	X
V-351 1	TACO BELL NEW IMAGE ENTRY EYEBROW 10'-0"	
V-352 1	TACO BELL NEW IMAGE ENTRY EYEBROW 10'-0"	
V-354 1	TACO BELL NEW IMAGE REMODEL SLAT WALL SEGMENT 8'-10"	X
	TACO BELL NEW IMAGE REMODEL SLAT WALL SEGMENT 12'-4"	X

* FLYING ARCH SHALL HAVE PIVOTING MOUNTING FLANGES
NOTE: ADDITIONAL INFORMATION IS AVAILABLE ON THE
PLANS.YUM.COM WEBSITE. SEE "SIGNAGE AND AWNING INFO."

APPURTENANCES SCHEDULE N.T.S. D1

- NEW BUILDING SIGN - UNDER SEPARATE PERMIT. SEE SCOPE OF WORK.
- EXISTING STOREFRONT TO REMAIN
- INDICATES ROOF BEYOND.
- FOR SOFFIT PAINTING DIRECTIONS, SEE 1/A4.0
- GAS METER. DO NOT PAINT METER.
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT 60" A.F.F.
- CONTINUE PAINT COLOR INDICATED AT BOTTOM OF FASCIA TO SOFFIT.
- HORIZONTAL TRIM BAND. SEE G/A5.1 & E/A4.0. BAND PAINT COLOR SHALL BE APPLIED TO TOP, BOTTOM AND FACE OF BAND.
- IF LIGHT BOXES OCCUR, REMOVE AND CONSTRUCT NEW SOFFIT PER DETAIL 1/A6.1 PROVIDE 6" CLEARANCE BETWEEN SLATS AND FACE OF SOFFIT.
- STUCCO PROVIDE 2X TRIM.
- METAL COPING.
- FABRICATED ALUMINUM SLATS BY VENDOR WITH LED LIGHTING 11
- NEW CANOPY. VERIFY SUPPORT AND BACKING REQUIREMENTS. SEE SCOPE OF WORK AND A/A5.0.
- MODIFY EXISTING TOWER. SEE SHEET A5.0.
- EXISTING CRICKET. REPAIR ROOFING AS NEEDED
- REMOVE INTERNALLY ILLUMINATED SOFFIT, AND REFER TO DETAIL 1/A6.1 FOR FRAMED SOFFIT.

- BASE THICKNESS - 1" THICK STUCCO. W/ HIGH IMPACT MESH TO HEIGHT OF 6'-0" A.F.F.
- HORIZONTAL TRIM BAND - 1 1/2" THICK STUCCO WITH 5-3/8" VERTICAL DIMENSION.
- EXPRESSION PANEL BANDS - 2" THICK STUCCO. x 6" WIDE.

ALL NEW STUCCO/E.I.F.S. TO HAVE A LIGHT
SAND FINISH UNLESS IT MUST BLEND WITH
AN EXISTING CONTRASTING FINISH.

STUCCO THICKNESS N.T.S. B

STUCCO SHALL MEET THE PERFORMANCE CHARACTERISTICS REQUIRED IN ASTM E 2568

STUCCO WITH DRAINAGE SHALL HAVE 90 PERCENT DRAINAGE EFFICIENCY WHEN TESTED IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM E 2273

STUCCO SHALL COMPLY WITH SECTION 1403 OF THE IBC

WATER RESISTIVE BARRIER SHALL COMPLY WITH SECTION 1404.2 OF THE IBC AND ASTM E 2570

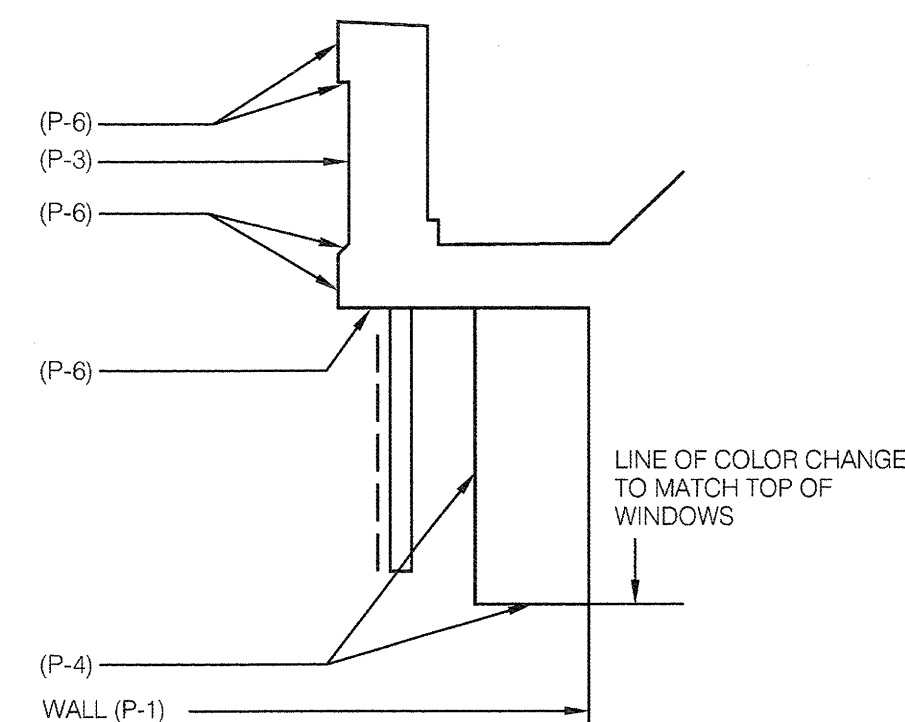
INSTALLATION SHALL COMPLY WITH STUCCO MANUFACTURERS INSTRUCTIONS AND THE PROVISIONS OF SECTIONS 1704.1 AND 1704.14 OF THE IBC.

USE DETAIL 9/A6.1 WHEN MOUNTING SIGNAGE, AWNINGS ETC. THROUGH STUCCO FINISH AT WALLS.

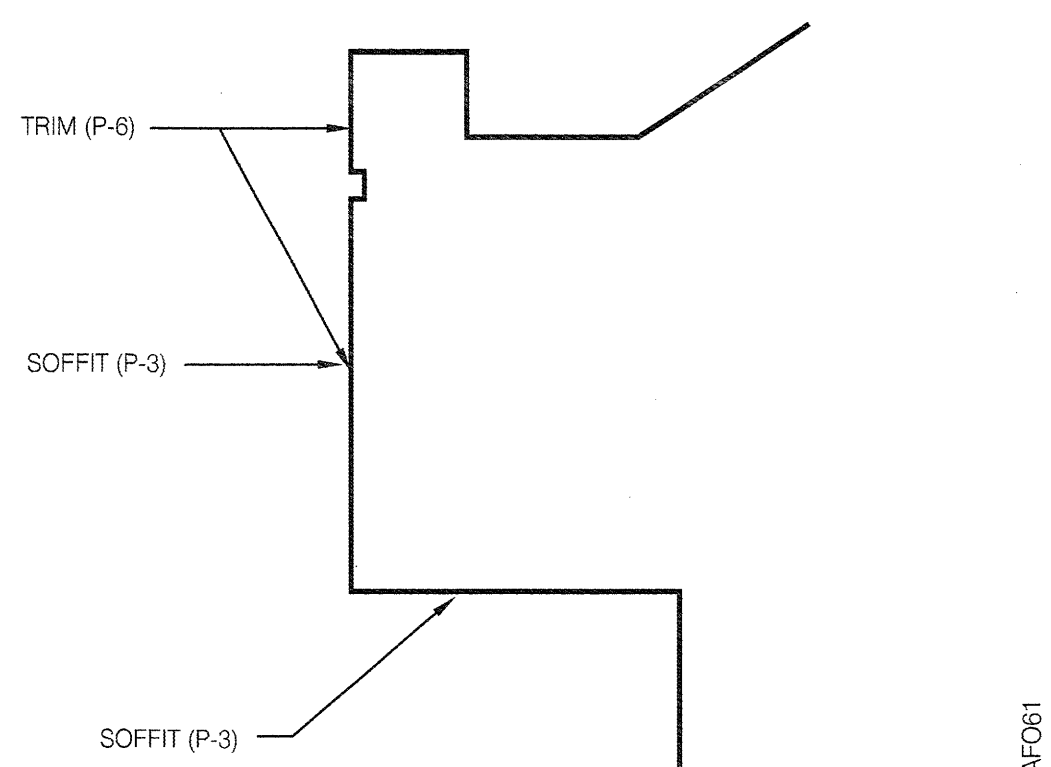
STUCCO NOTES N.T.S. B1

- WALL LIGHTING, CENTER ON TOWER LEG. SEE MOUNTING HEIGHT ON SHEET E4.0.
- EXISTING SWITCHGEAR CABINET. PAINT.
- NEW 'BEAM'. SEE E & G/A5.1.
- PAINT ALL ROOF FLOOD LIGHTS COLOR BRONZE
- PATCH AND REPAIR EXISTING STUCCO.
- 1"U" GROOVE STUCCO.
- FRAMED SOFFIT. SEE DETAIL 1/A6.1. IF NOT EXISTING.
- 10"H x 12" DEEP BREAK METAL TRIM BY SIGN VENDOR
- REAR TOWER, WHERE OCCURS.
- EXISTING SIGN, WHERE OCCURS.
- NEW STOREFRONT AND GLAZING
- CONTINUE STUCCO BEHIND ALUMINUM PANEL.
- 1X6 TRIM ANGLE
- 1X4 TRIM ANGLE
- INFILL EXISTING ARCHES WHERE INDICATED / STUCCO.

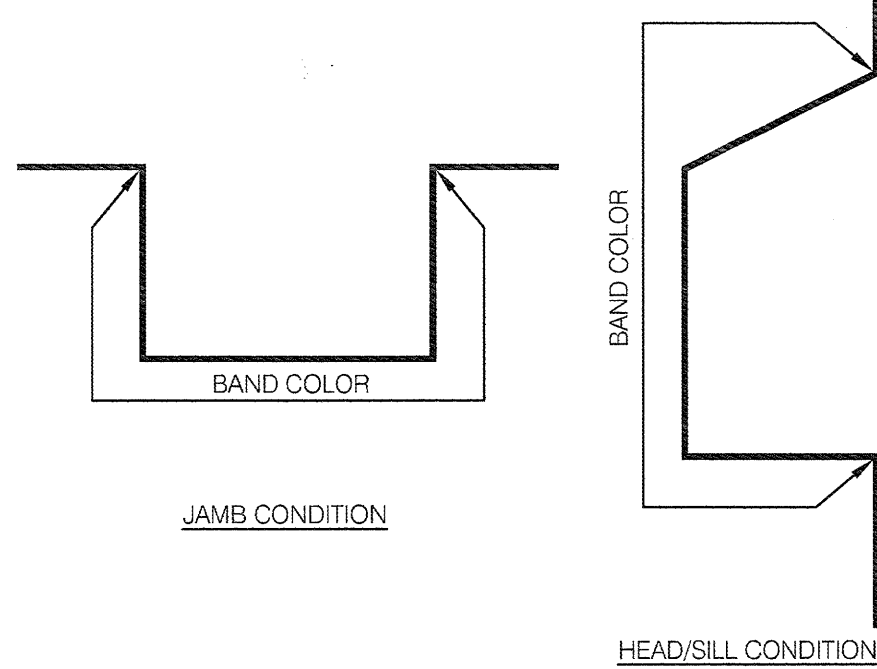
KEY NOTES C



ACCENT BAND COLOR TRANSITION N.T.S. I



ACCENT BAND COLOR TRANSITION N.T.S. G



NOTE: THE INTENT IS THAT COLOR CHANGES OCCUR AT INSIDE CORNERS.

ACCENT BAND COLOR TRANSITION N.T.S. E

MISCELLANEOUS

- SEE SCOPE OF WORK FOR RESPONSIBILITIES.
- PROVIDE BLOCKING FOR SIGNAGE, TRELLIS AND CANOPY.
- DURO-LAST TERMINATION BAR SHALL BE DARK BRONZE.

SEALERS (REFER TO SPECS):

- SEALANT AT ALL WALL AND ROOF PENETRATIONS.
- SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD, SILL AND JAMB.

■ DENOTES ITEMS SUPPLIED AND
INSTALLED BY SIGN VENDOR

□ DENOTES EXTERIOR FINISH.

○ DENOTES SIGN/AWNING/CANOPY ITEMS - VENDOR SUPPLIED AND INSTALLED.
SEE THE SCOPE OF WORK SHEETS.

2. OWNER REPRESENTATIVE WILL IDENTIFY WHICH PAINT SPECIFICATION WILL BE PRIMARY

GENERAL NOTES F

SYMBOL	AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	COLOR
1	MAIN WALL COLOR	SHERWIN WILLIAMS	CAMELBACK SW6122	STO LOTUSAN	NA08-0011
2	ALUMINUM PANEL (BY GC)	STOUT SIGNS	ALUMINUM PANEL WITH EMBOSSED 4X4 PATTERN MFR: STOUT SIGNS CONTACT: JIM GUNDERSON (314) 385-4600		PURPLE
3	ACCENT WALL COLOR	SHERWIN WILLIAMS	ROCKWOOD CLAY SW2823	STO LOTUSAN	NA08-0010
4	ACCENT COLOR	SHERWIN WILLIAMS	CLEMETAS SW6831		
5	CONTINUOUS PARAPET CAP	SHERWIN WILLIAMS	IRON ORE SW7069		
6	ACCENT WALL COLOR	SHERWIN WILLIAMS	UMBER SW6146		
7	PIPE BOLLARDS	SHERWIN WILLIAMS	DOT YELLOW		
	DESIGNER NOTE: BORAL VERSA STONE AS STONE VENEER OPTIONS ON THE EXTERIOR WHEN REQUIRED BY CITY ORDINANCES.	BORAL - VERSA STONE	TIGHT OUT - "PLUM CREEK"	ALTN. COLOR: IDAHO DRY STACK, CARMEL MOUNTAIN CULTURED STONE VENEER ALTN. MFR: OWENS CORNING CONTACT: KATHY MANNON P: (868) 315-9081, KATHY.MANNON@OWENSCORNING.COM	
	DESIGNER NOTE: ACME THINBRIK AS BRICK ALTERNATES FOR CAMELBACK AND ROCKWOOD CLAY ON THE EXTERIOR WHEN REQUIRED BY CITY ORDINANCES.	ACME BRICK COMPANY	DENVER PLANT - "DESERT TAN" SUB. FOR CAMELBACK DENVER PLANT - "CASTLE RIDGE" SUB FOR ROCKWOOD CLAY	ACME BRICK COMPANY: 3024 ACME BRICK PLAZA FORTH WORTH, TX 76109 (817) 332-4101	
11	HANDRAILS & TRANSFORMER HOUSINGS (WHERE OCCUR)	SHERWIN WILLIAMS	STATUS BRONZE SW7034		

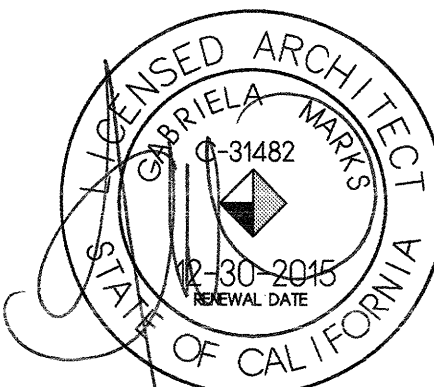
EXTERIOR FINISH SCHEDULE H

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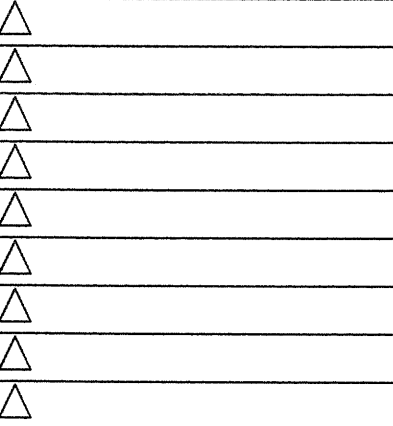
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SITE NUMBER:

STORE NUMBER: 019515

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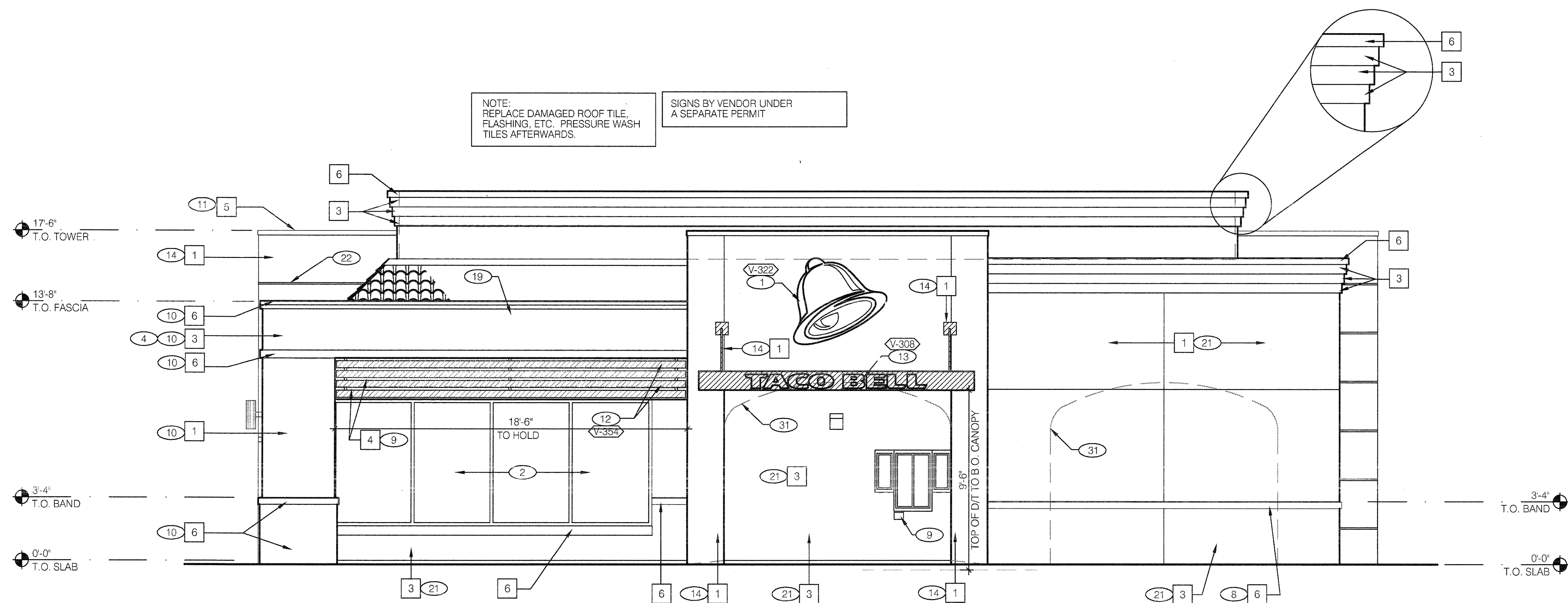
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EXTERIOR
ELEVATIONS

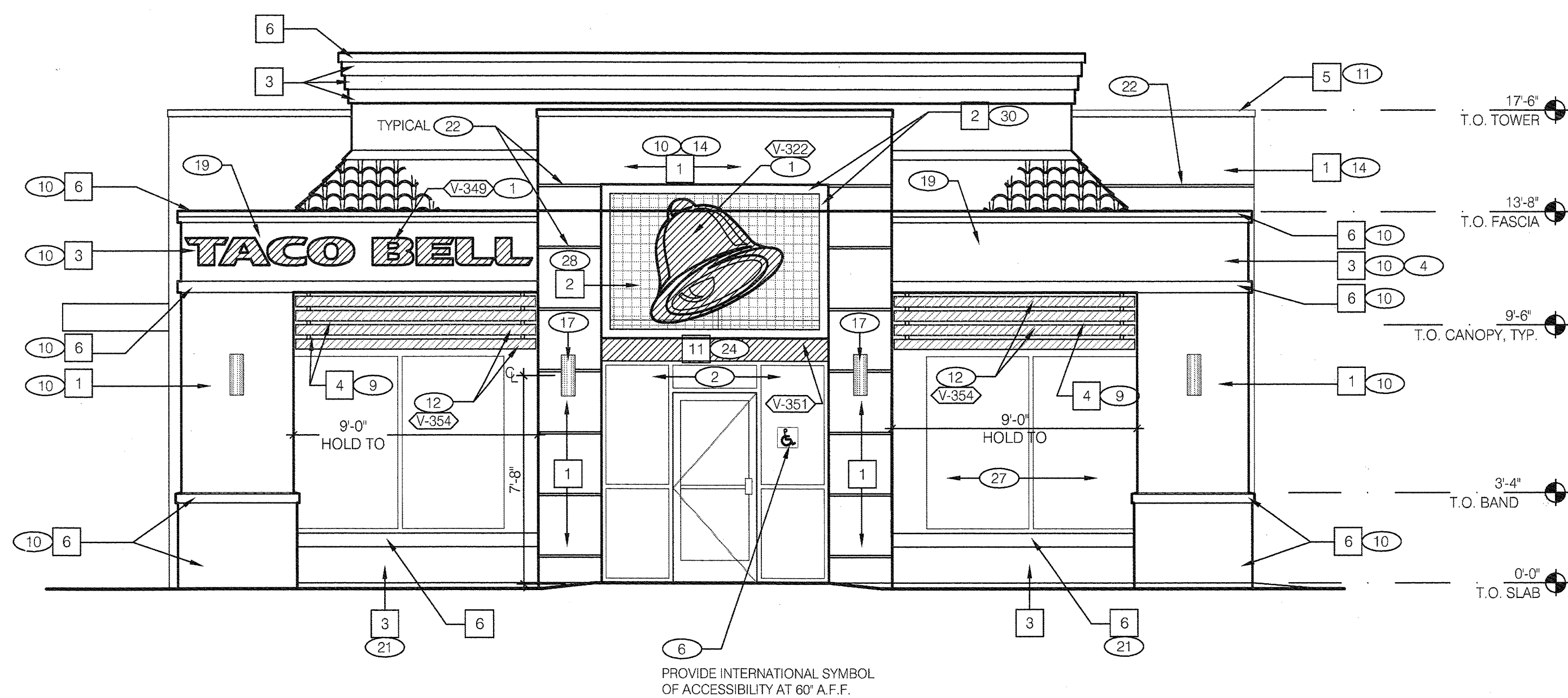
A4.0

PLT DATE:



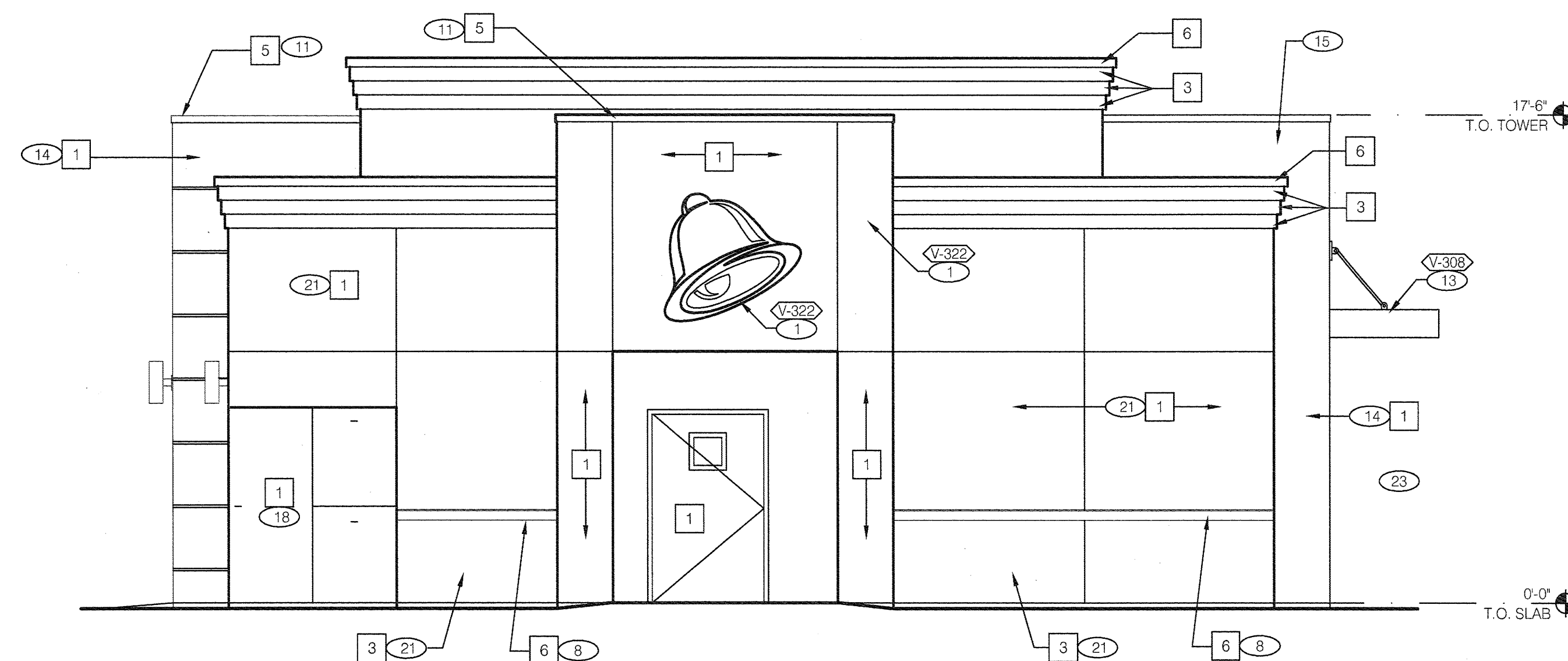
SEE SHEET A4.0
FOR KEYNOTES.

LEFT SIDE ELEVATION 1/4" = 1'-0" A

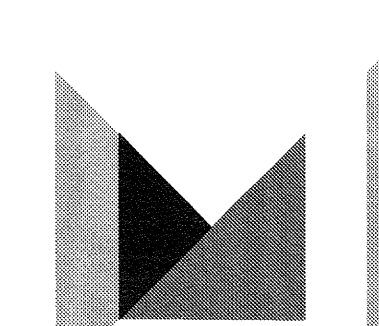


ENTRANCES SHALL BE IDENTIFIED WITH
A SIGN OR STICKER OF THE STANDARD
ACCESSIBILITY LOGO

FRONT ELEVATION 1/4" = 1'-0" C



REAR ELEVATION 1/4" = 1'-0" B

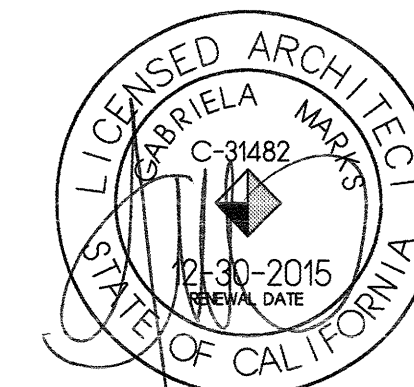


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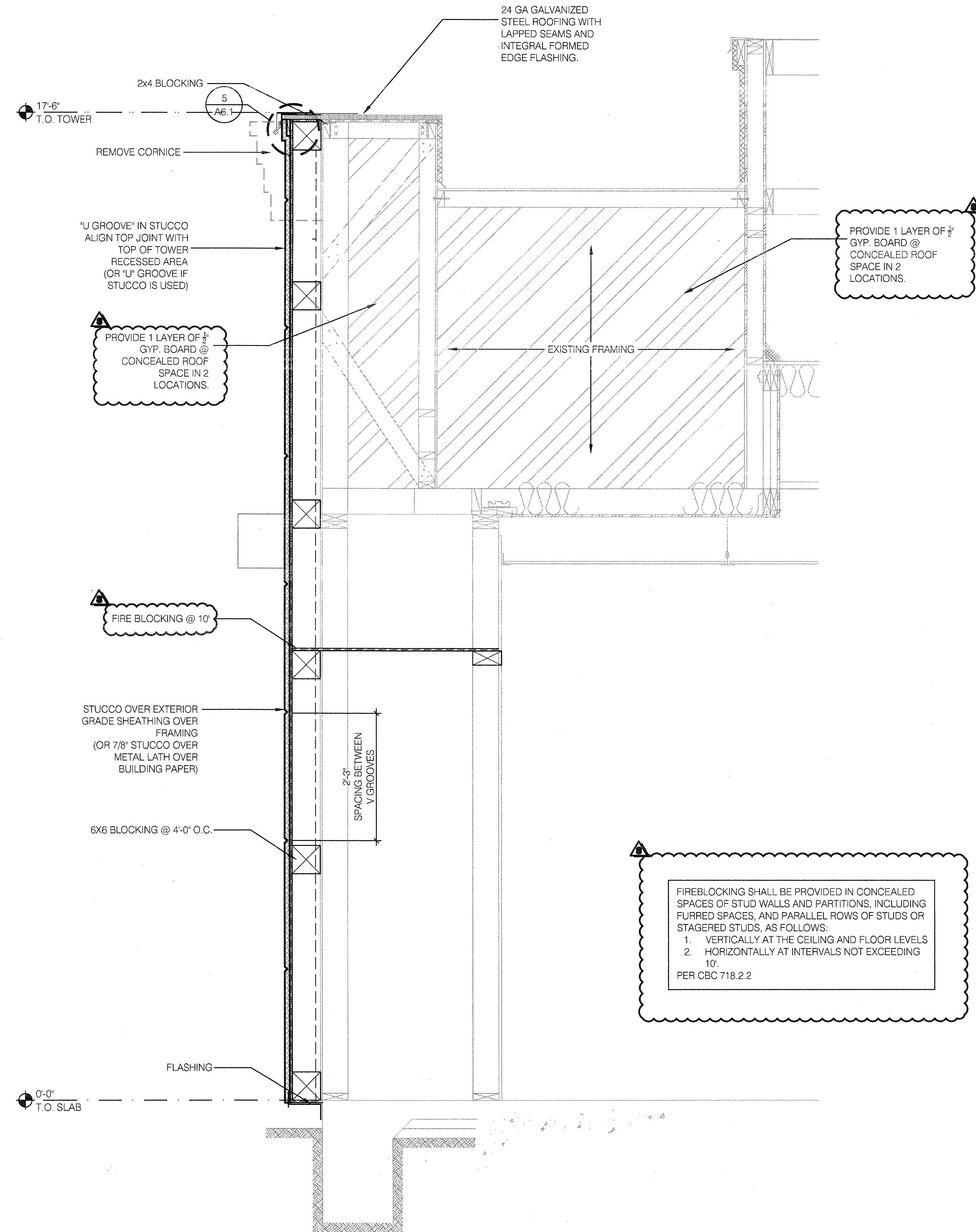


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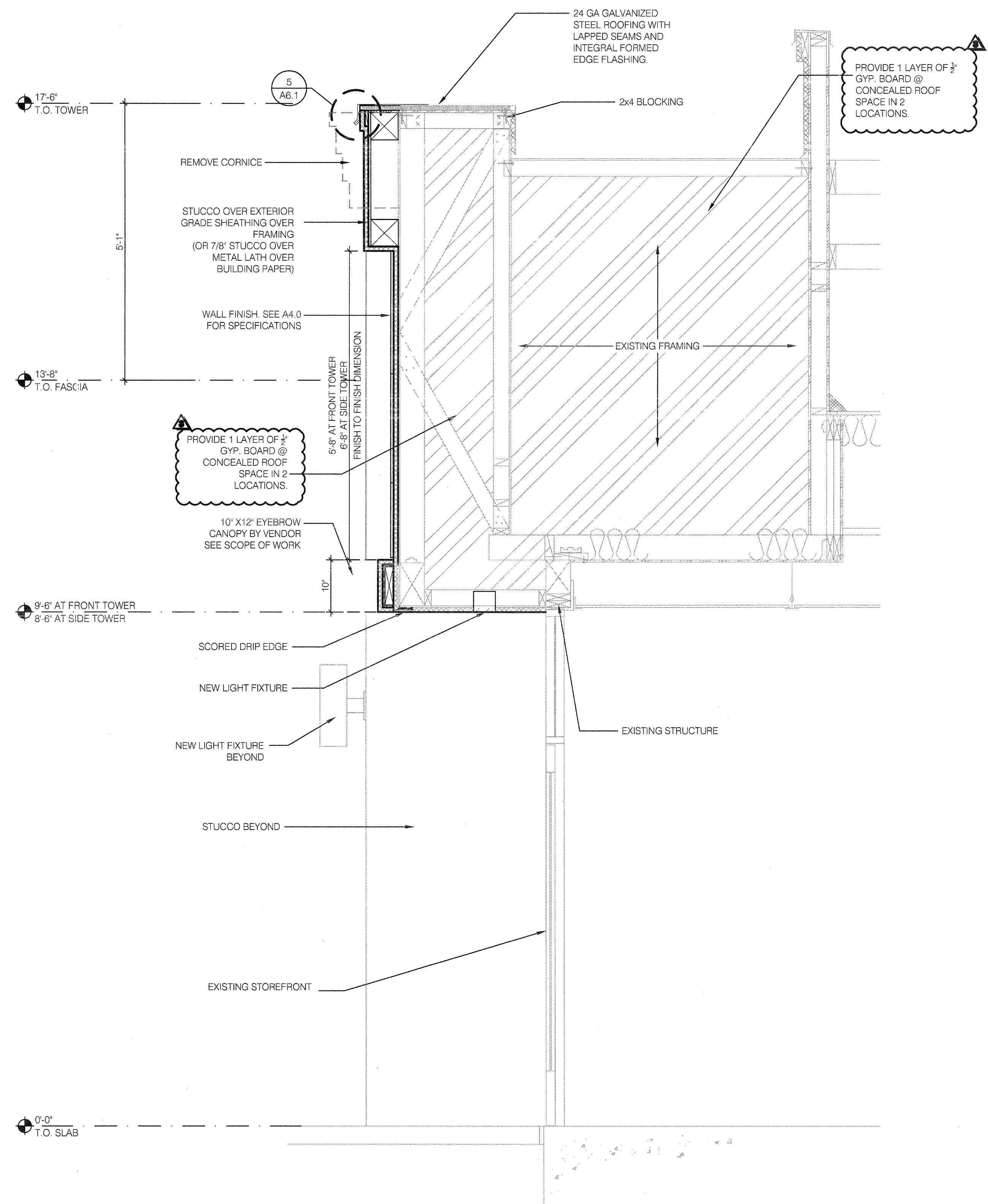
EXTERIOR
ELEVATIONS

A4.1

PLOT DATE:



WALL SECTION @ FRONT TOWER LEG 3/4" = 1'-0" C

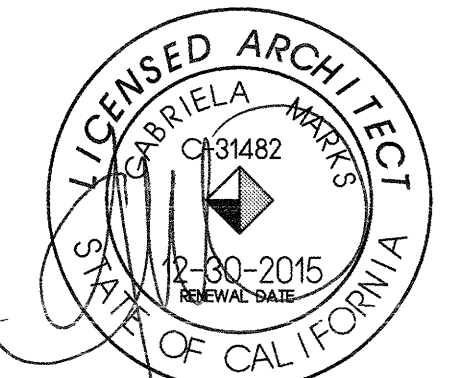


WALL SECTION @ FRONT ENTRY 3/4" = 1'-0" A

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BUILDING DEPT CORR.	01.08.16
BUILDING DEPT CORR.	03.09.16

CONTRACT DATE:
BUILDING TYPE: M70HD
PLAN VERSION: MAR 2014
SITE NUMBER:
STORE NUMBER: 019515

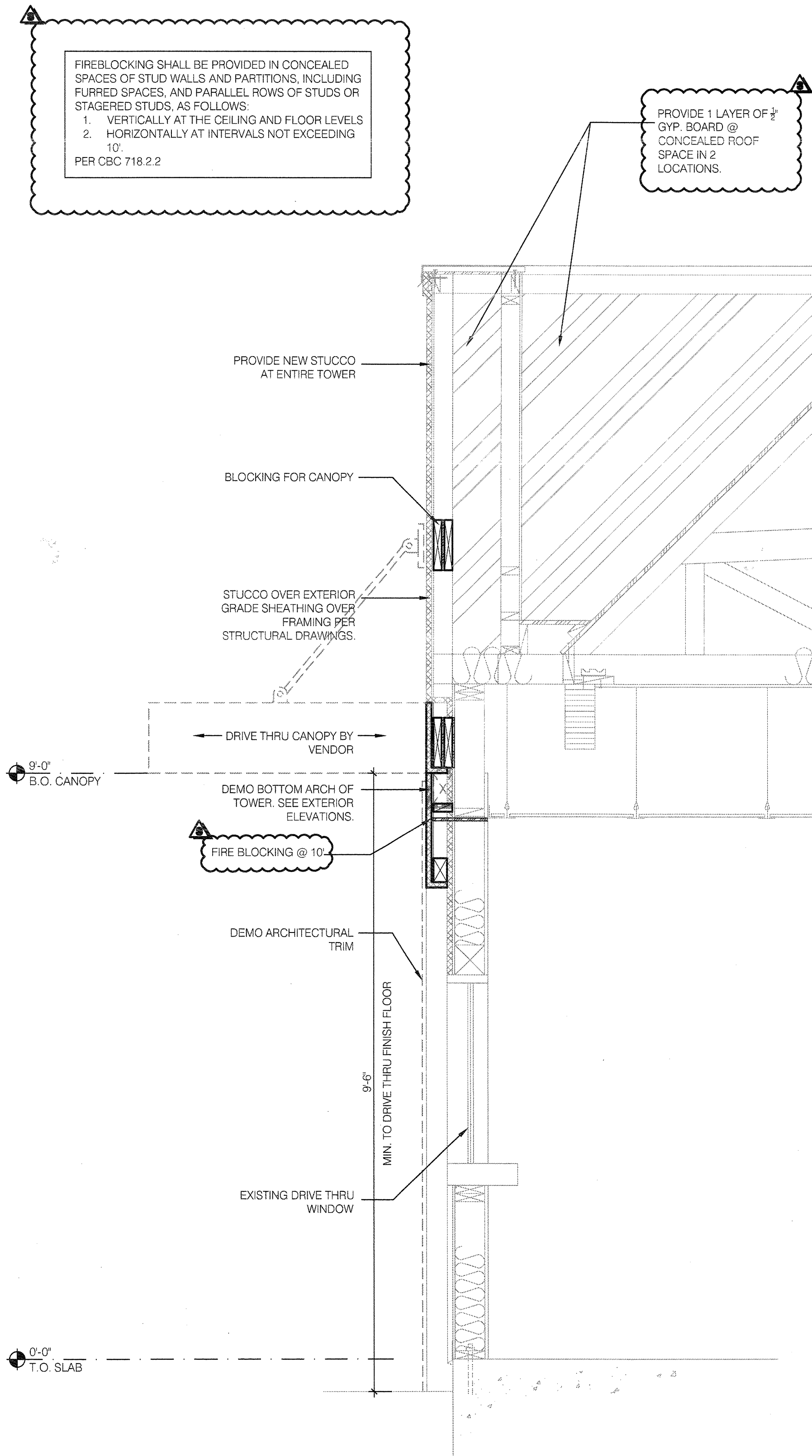
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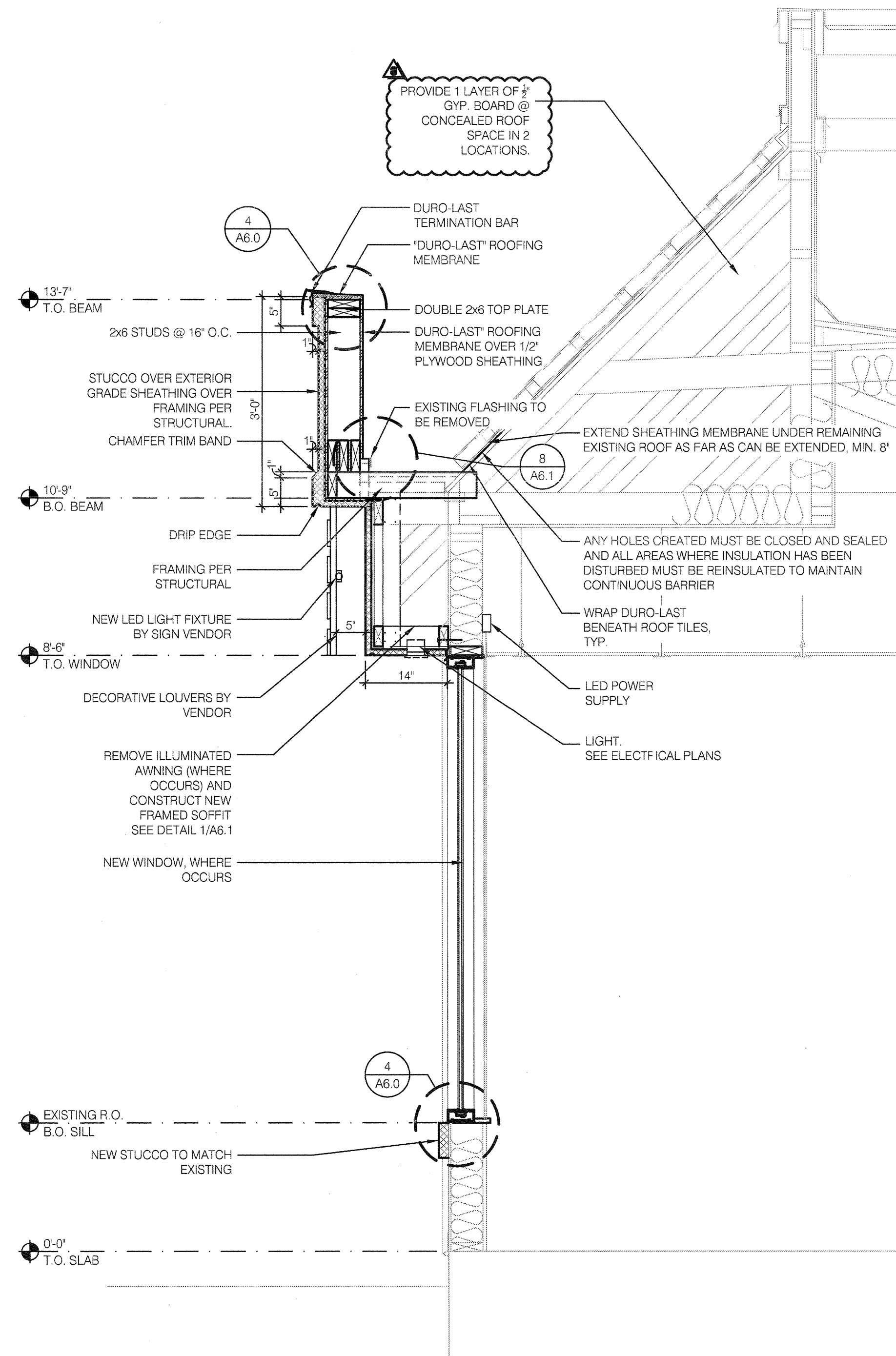
WALL
SECTIONS

A5.0

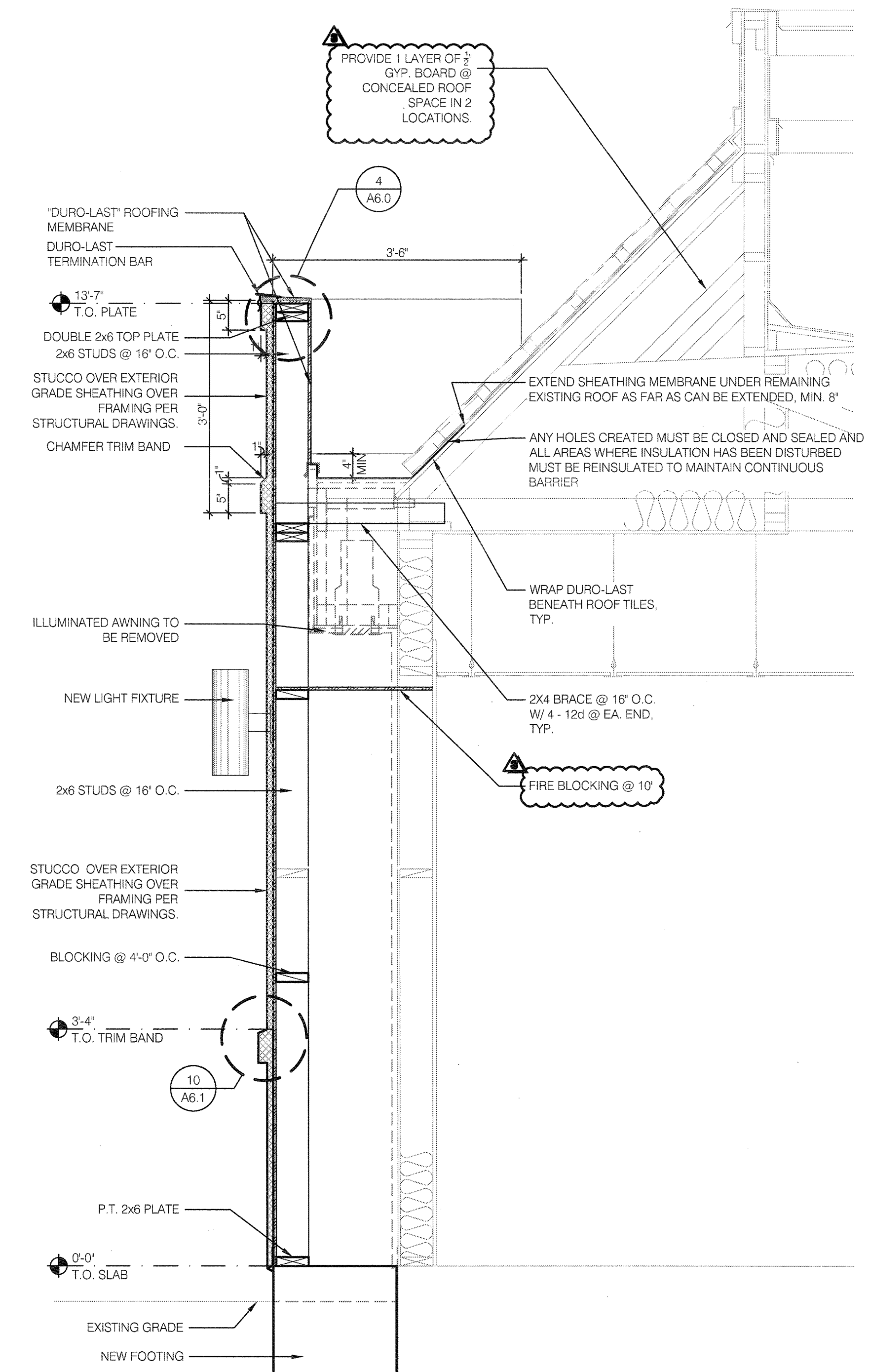
LOGO DATE:



WALL SECTION AT DRIVE THRU NTS H



WALL SECTION @ NEW BEAM 3/4" = 1'-0" G

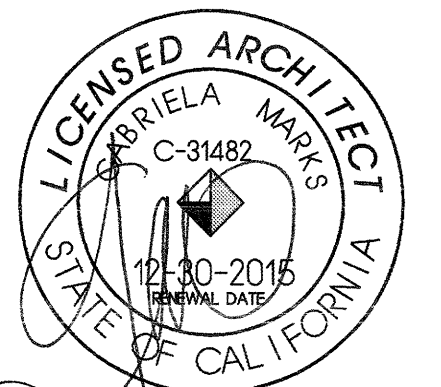


WALL SECTION @ CORNER TOWERS 3/4" = 1'-0" E

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BUILDING DEPT. CORR.	03.09.16

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PLAN VERSION: MAR 2014
SITE NUMBER:
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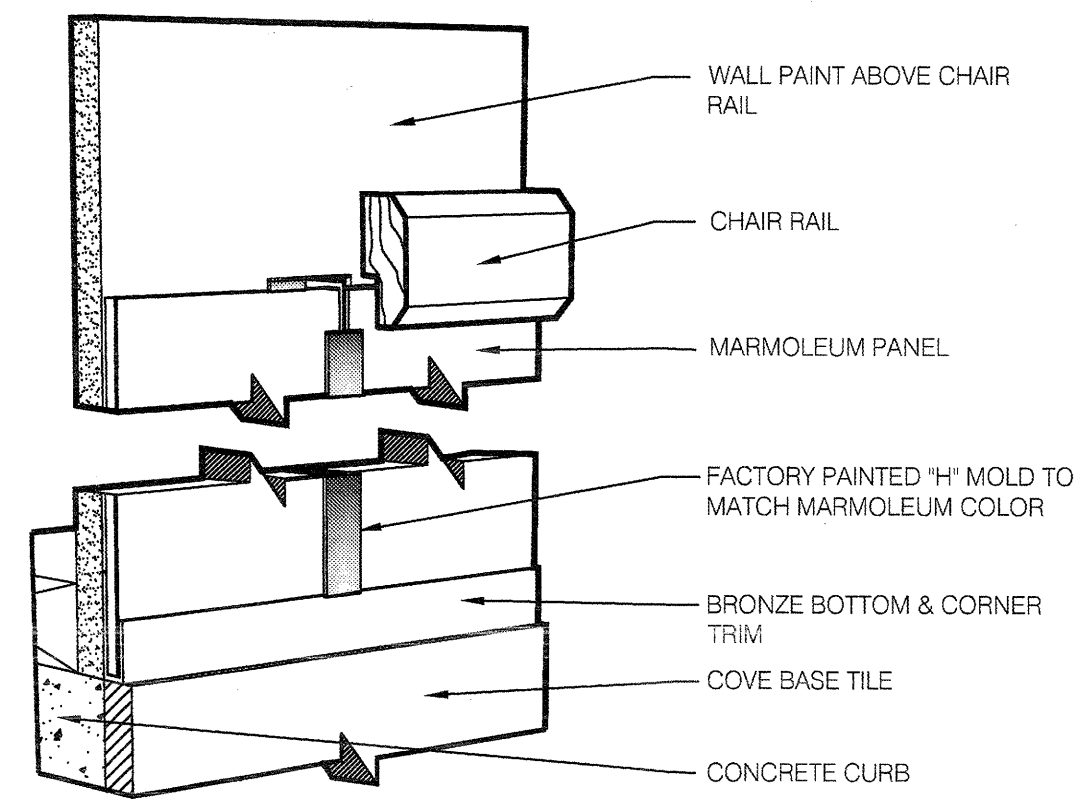


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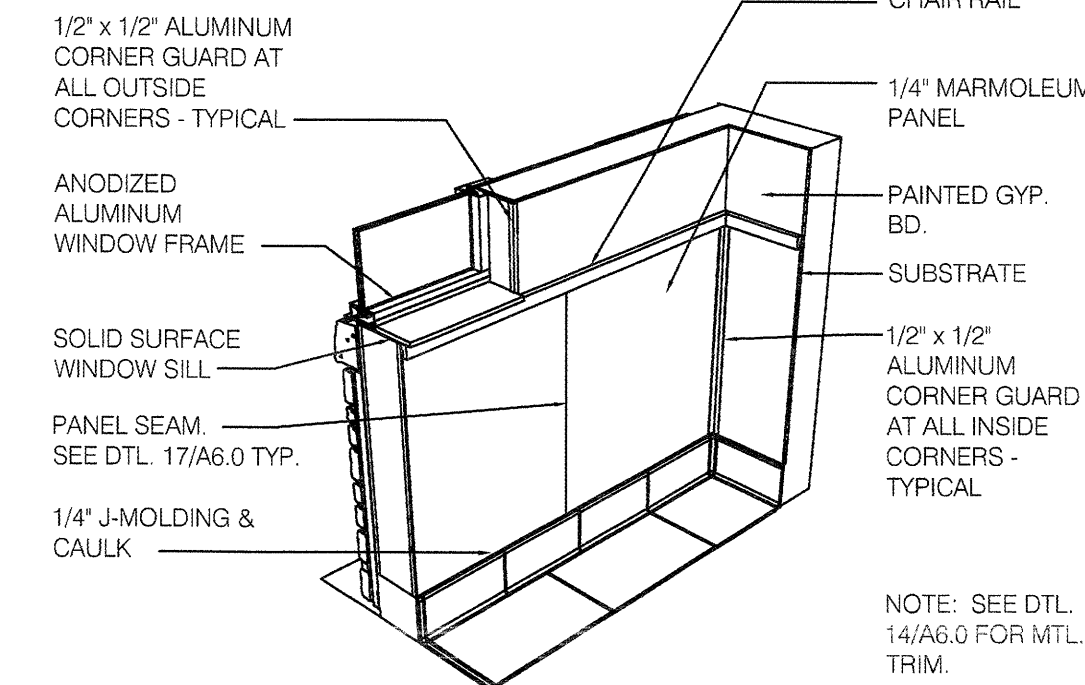
WALL
SECTIONS

A5.1

LIVE DATE:



MARMOLEUM EDGE LAP DETAIL N.T.S. **17**

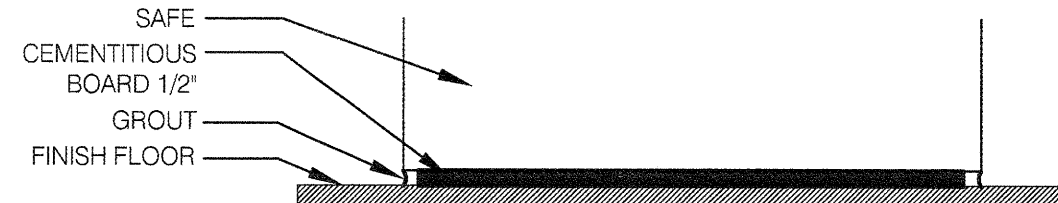


NOTE: THE MARMOLEUM PANELS, CHAIR RAIL & PAINTED MTL. TRIM ARE PROVIDED BY THE DECOR VENDOR. THE GC SHALL INSTALL PANELS TO THE WALL SUBSTRATE WITH ROLLED ON CONTACT GLUE. SEE SCOPE OF WORK.

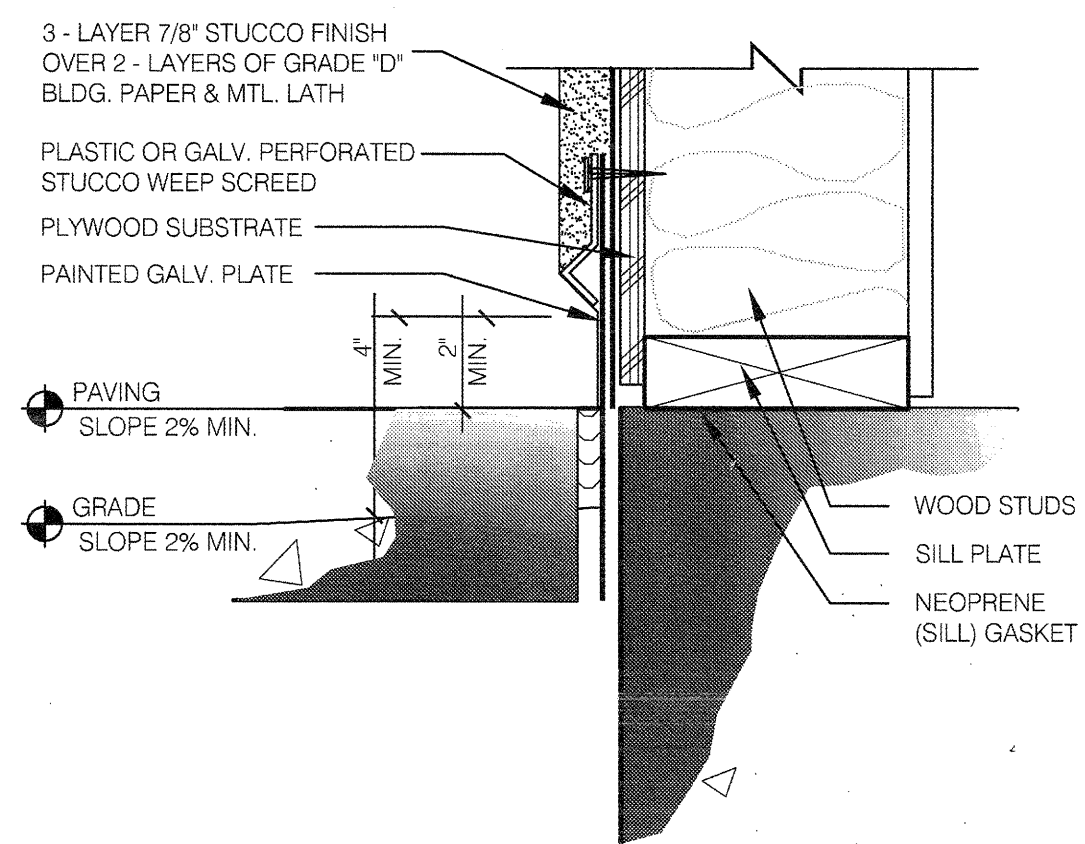
MARMOLEUM ATTACH & SILL DETAIL N.T.S. **13**

NOTE:
7/8" STUCCO OVER METAL
LATH OVER BUILDING PAPER

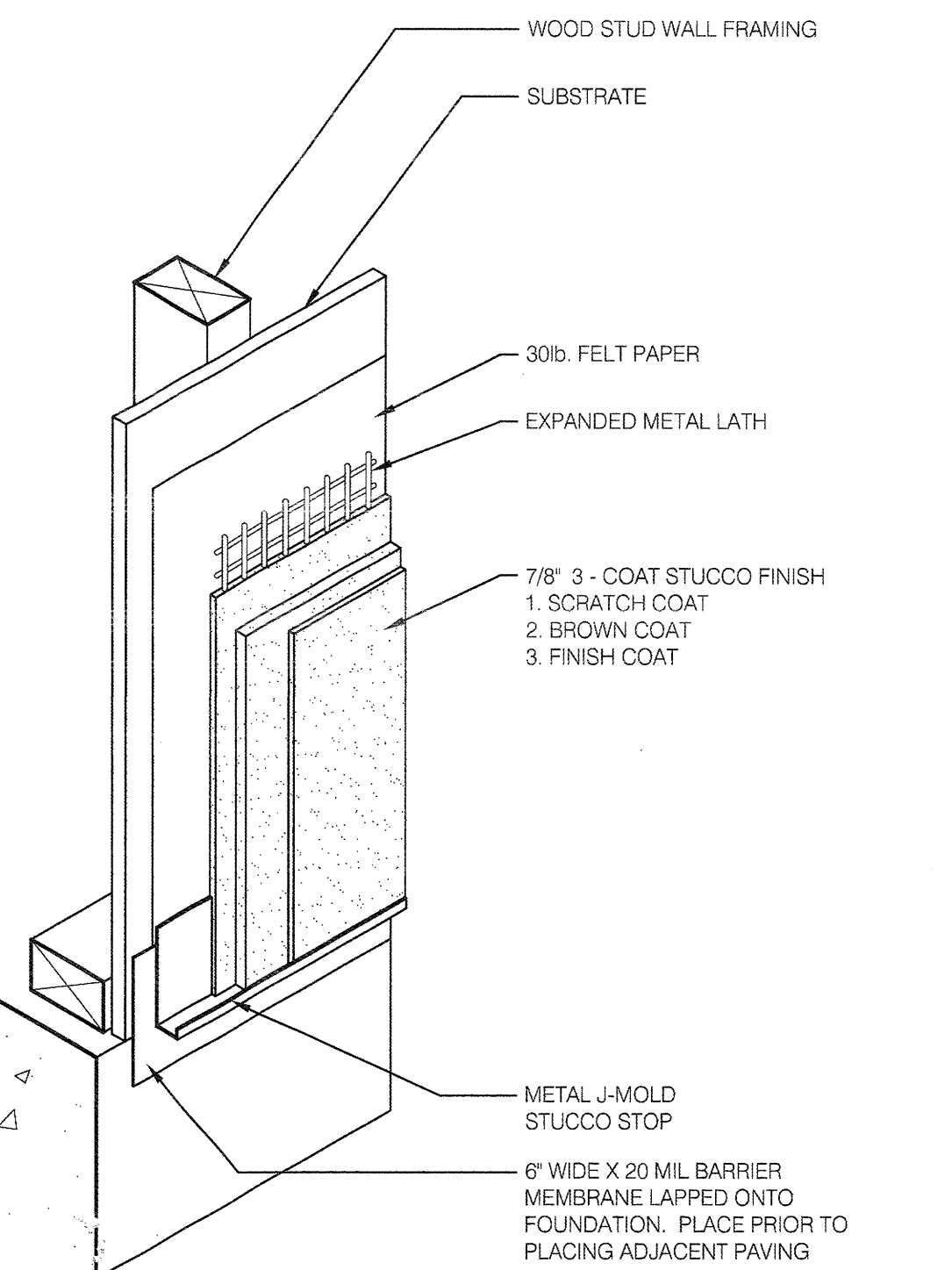
NOT USED N.T.S. **9**



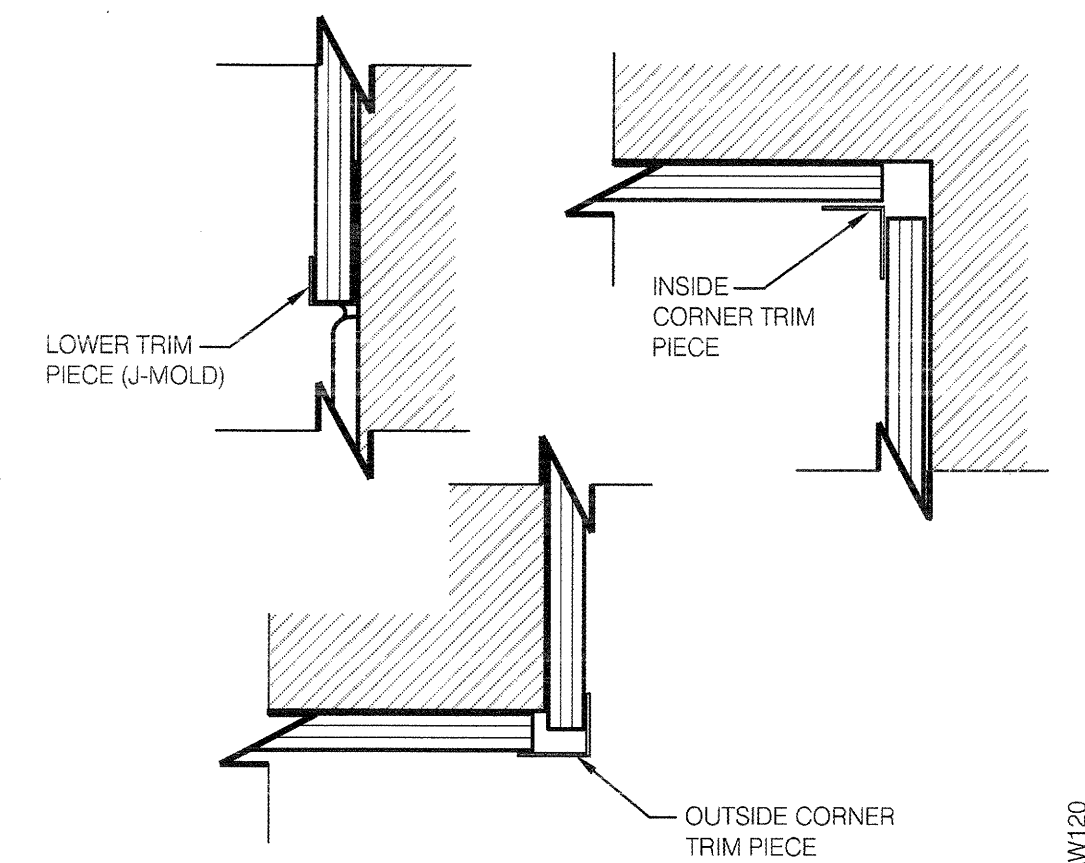
SAFE DETAIL N.T.S. **5**



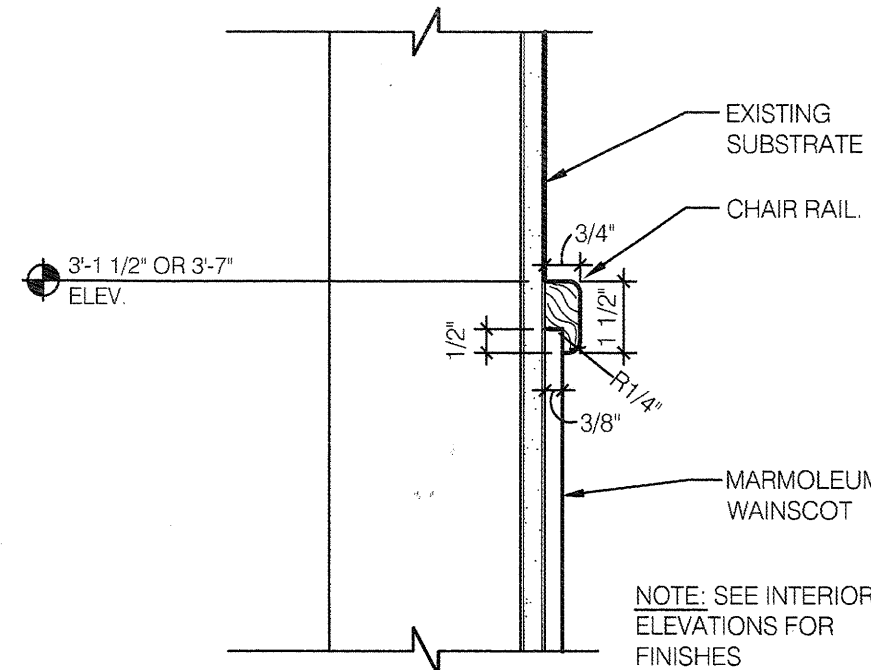
STUCCO FINISH @ SLAB 3" = 1'-0" **1**



TYP. STUCCO BASE TERMINATION **19**



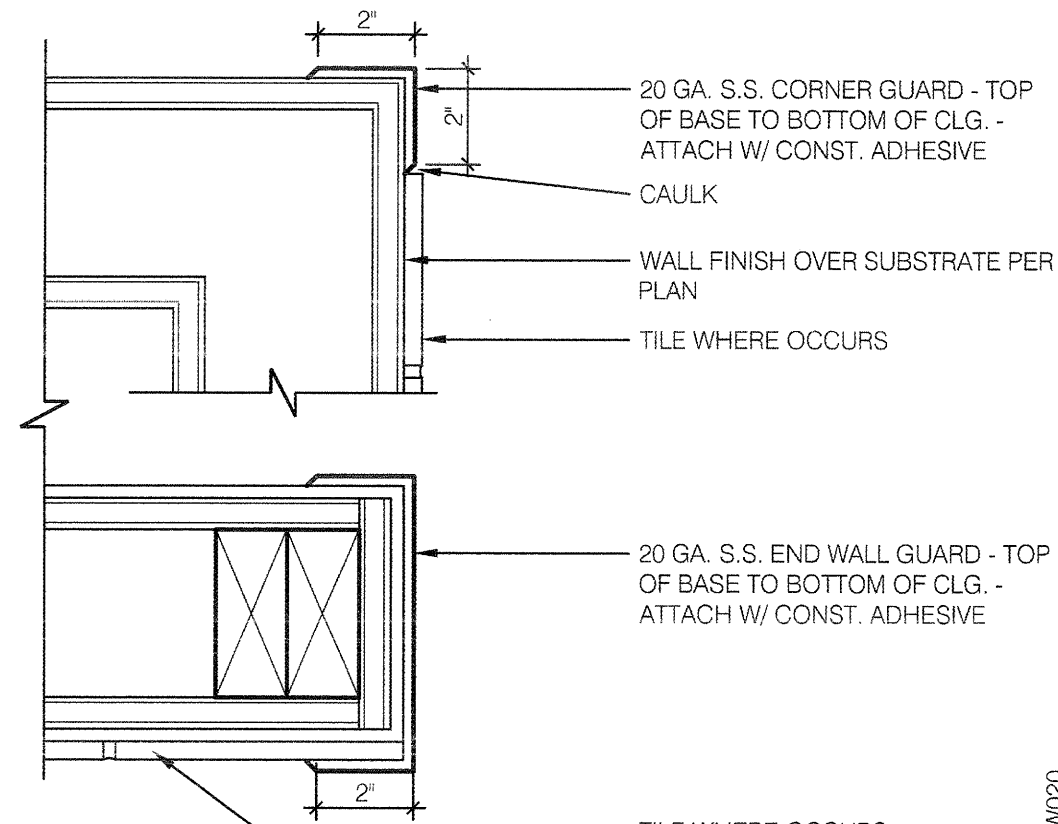
MARMOLEUM TRIM DETAILS 6" = 1'-0" **14**



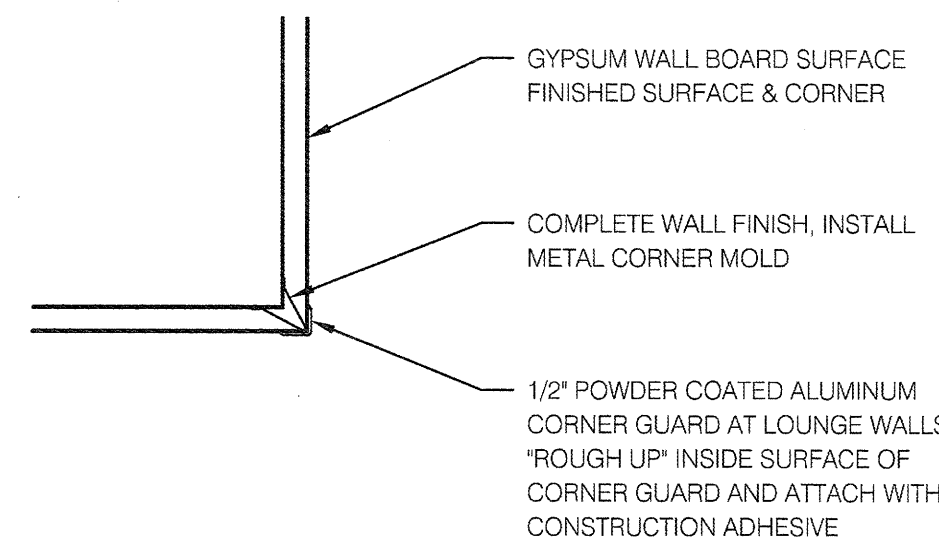
CHAIR RAIL DETAIL 3" = 1'-0" **15**



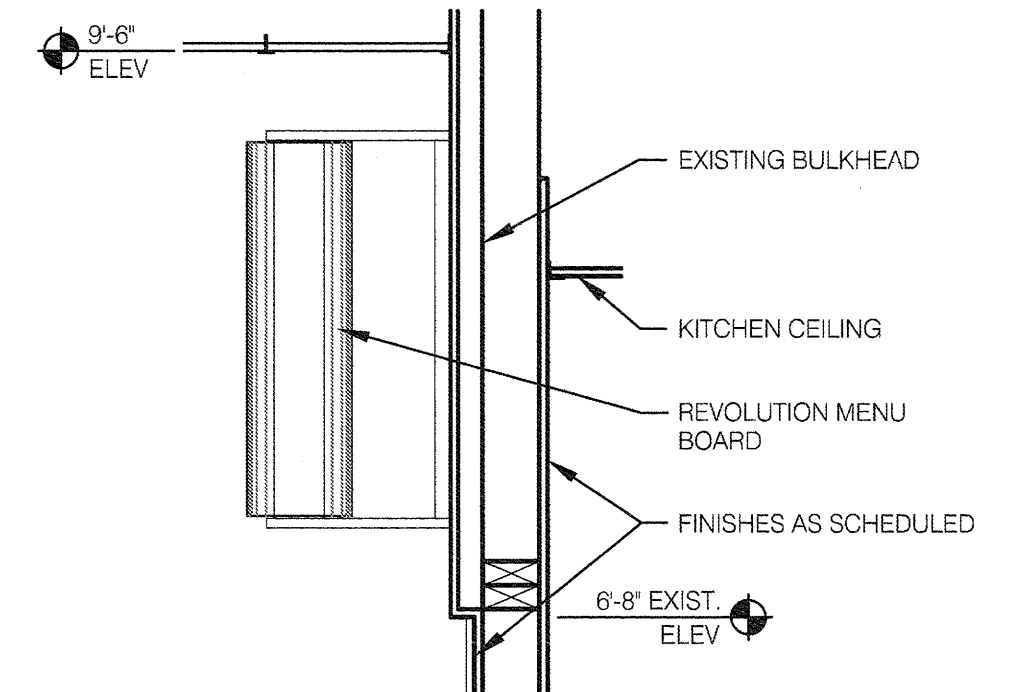
NOT USED N.T.S. **10**



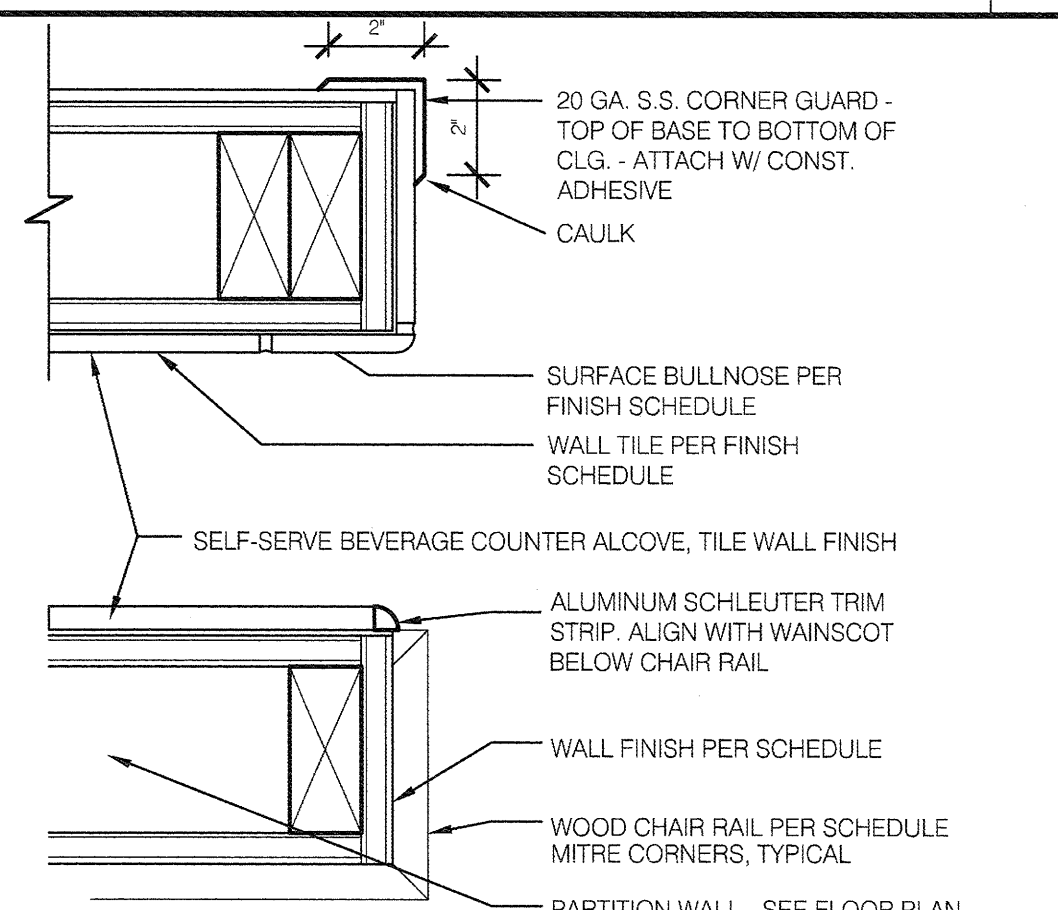
S/S CORNER GUARDS 3" = 1'-0" **6**



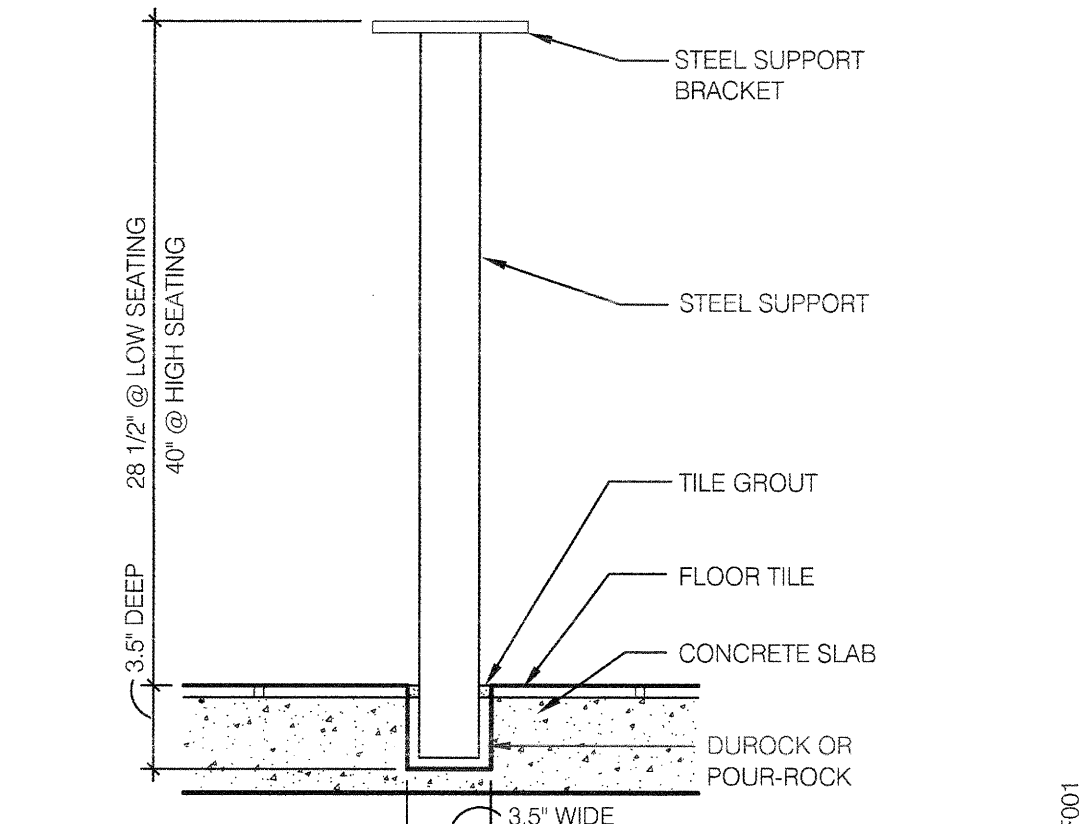
DECOR CORNER GUARD N.T.S. **7**



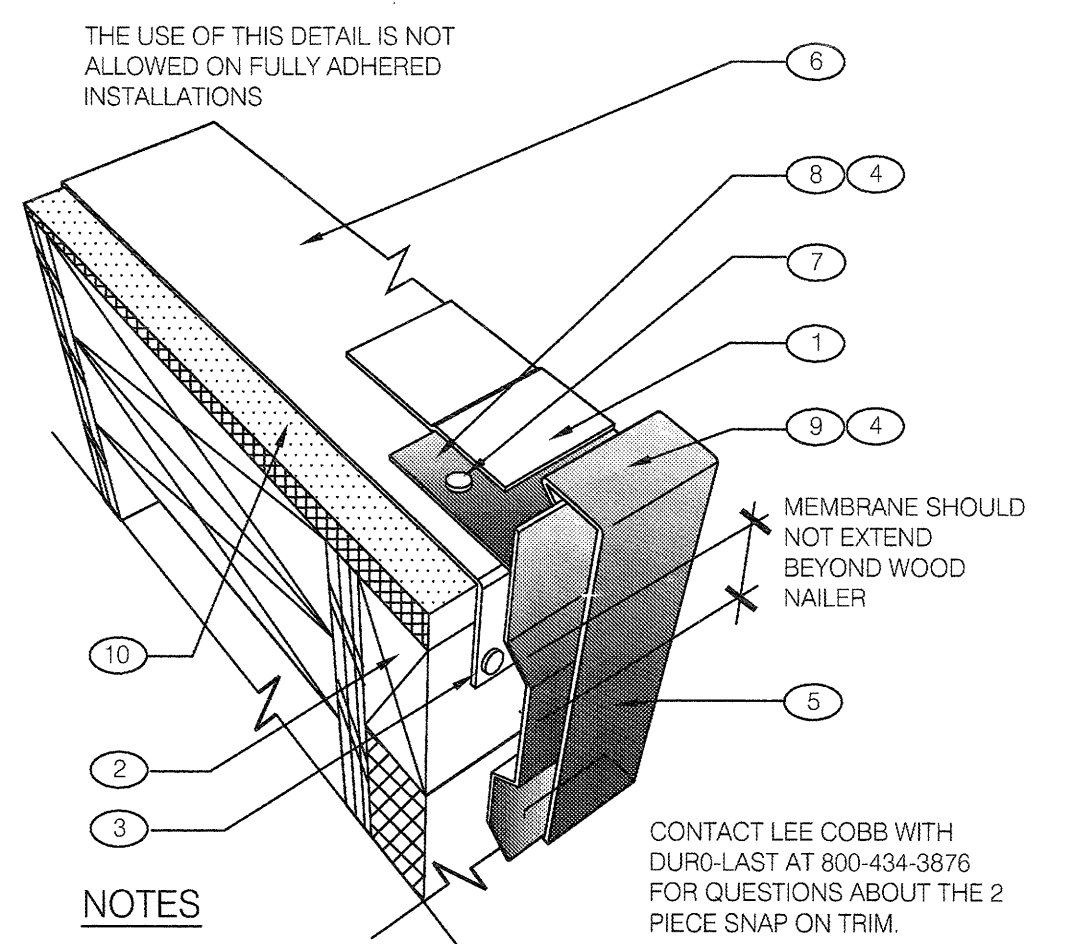
BULKHEAD DETAIL 3/4" = 1'-0" **12**



FINISH TRANSITIONS N.T.S. **8**



TYPICAL CORE DRILL N.T.S. **2**



PARAPET CAP N.T.S. **4**

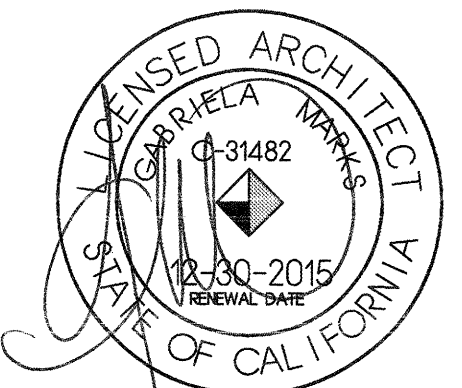
- THE USE OF THIS DETAIL IS NOT ALLOWED ON FULLY ADHERED INSTALLATIONS
- NOTES
- FACTORY WELDED SKIRT. COMES WITH GRAVEL STOP.
 - A WOOD NAILER IS REQUIRED IF ONE OR MORE INCHES OF INSULATION IS USED. TOP OF WOOD NAILER IS TO BE FLUSH WITH TOP OF INSULATION. BE SURE THAT THE WOOD NAILER EXTENDS AT LEAST 1/2" INCH BEYOND THE HORIZONTAL EDGE OF THE SNAP-ON BASE.
 - THE FASTENERS USED TO ATTACH THE BASE TO WOOD NAILERS, AND THE MEMBRANE TO THE FACE OF THE NAILERS, MUST BE SPACED NO GREATER THAN 6" INCHES ON-CENTER WHEN ATTACHING THE BASE WITHIN 10' FEET (MIN.) OF THE OUTSIDE CORNERS OF THE BUILDING.
 - ALLOW FOR 1/8" INCH EXPANSION GAP BETWEEN 10-FOOT LENGTHS OF SNAP-ON BASE & SNAP-ON COVER. OVERLAP THE SNAP-ON COVERS BY 2-INCHES BETWEEN 10-FOOT LENGTHS.
 - WHEN INSTALLING THIS DETAIL WITH A 6-INCH OR GREATER VERTICAL SURFACE, ADDITIONAL MECHANICAL ATTACHMENT IS REQUIRED ON THE SNAP-ON BASE.
 - ROOF MEMBRANE
 - FASTEN 6-INCHES ON CENTER WITH 1" 1/4" LONG ROOFING NAILS. INCREASE FASTENER SPACING TO 3-INCHES ON CENTER AT THE CORNERS OF THE ROOF (10'-0" MIN.). FASTENERS SHALL PENETRATE NAILER A MIN. OF 1-INCH.
 - DURO-LAST 4" PRE-FABRICATED GRAVEL STOP W/ FACTORY WELDED SKIRT. SHOULD EXTENDED PAST NAILER MIN. 1"
 - FACTORY PAINTED COMPRESSION METAL COVER
 - 1/2" IN 12' SLOPE HARD ISO FOAM BOARD CANT STRIP.

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PLAN VERSION: MAR 2014
SITE NUMBER:
STORE NUMBER: 019515

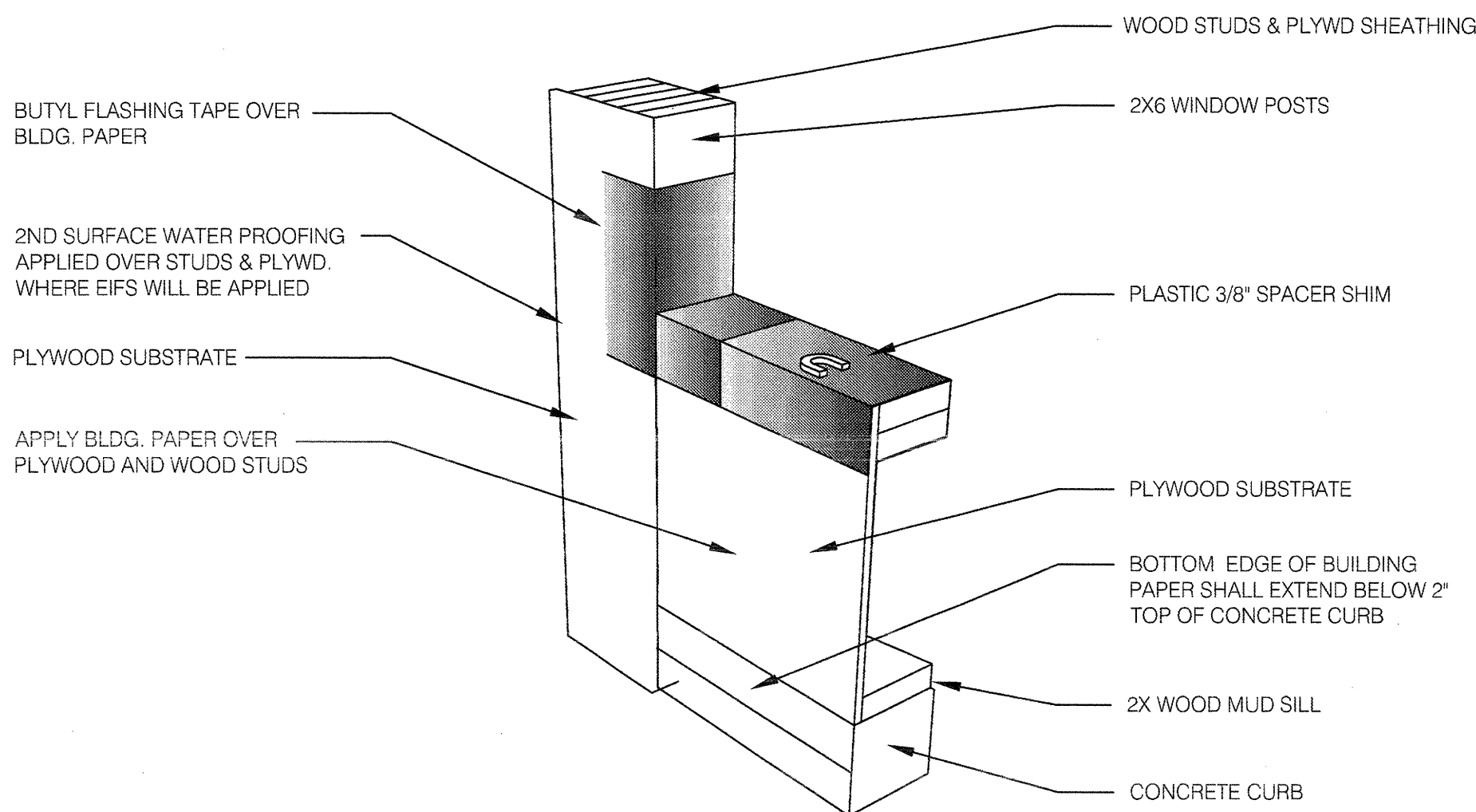
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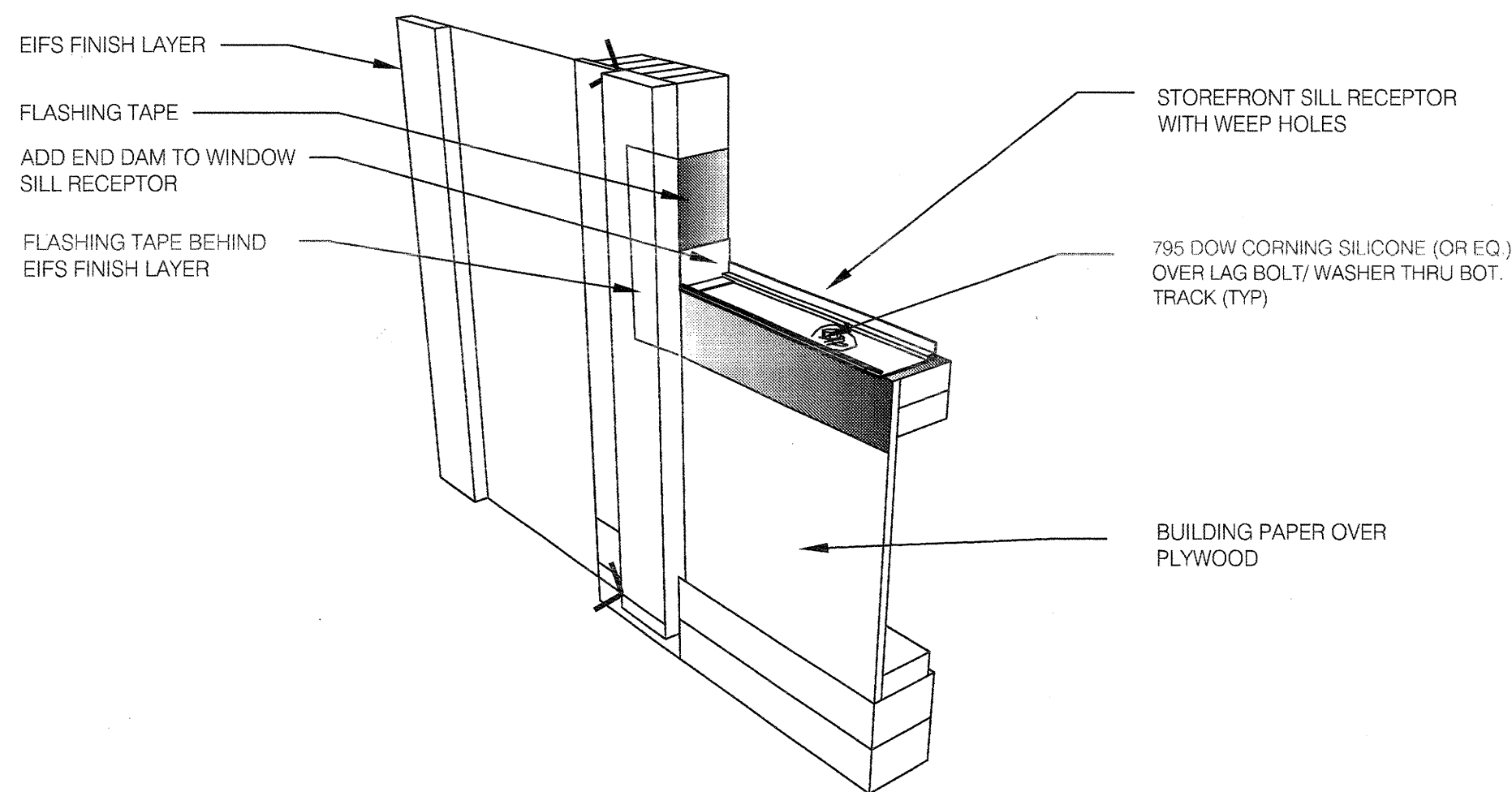
FINISH DETAILS

A6.0

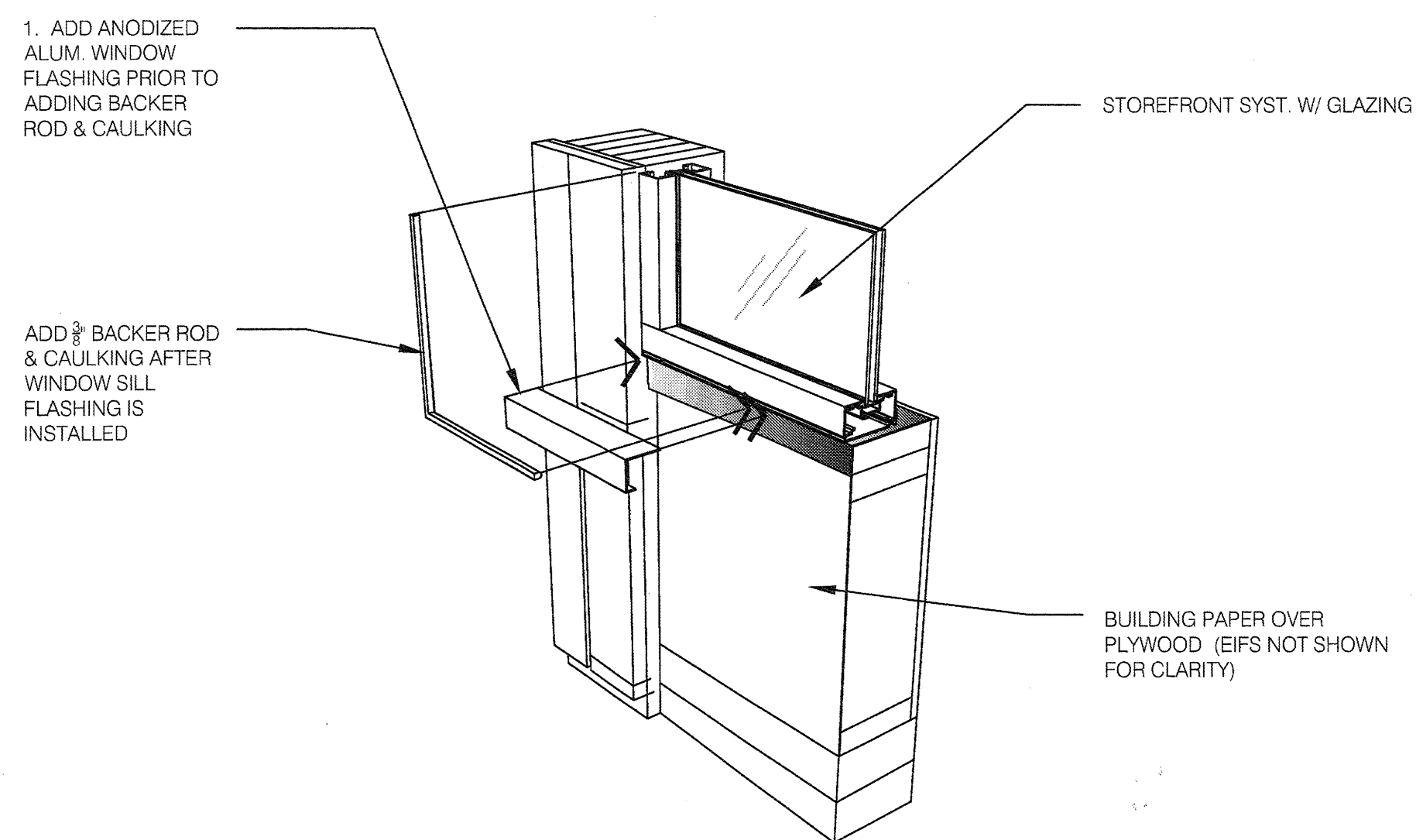
PLOT DATE:



STEP 1
ADD BLDG. PAPER & FLASHING TAPE



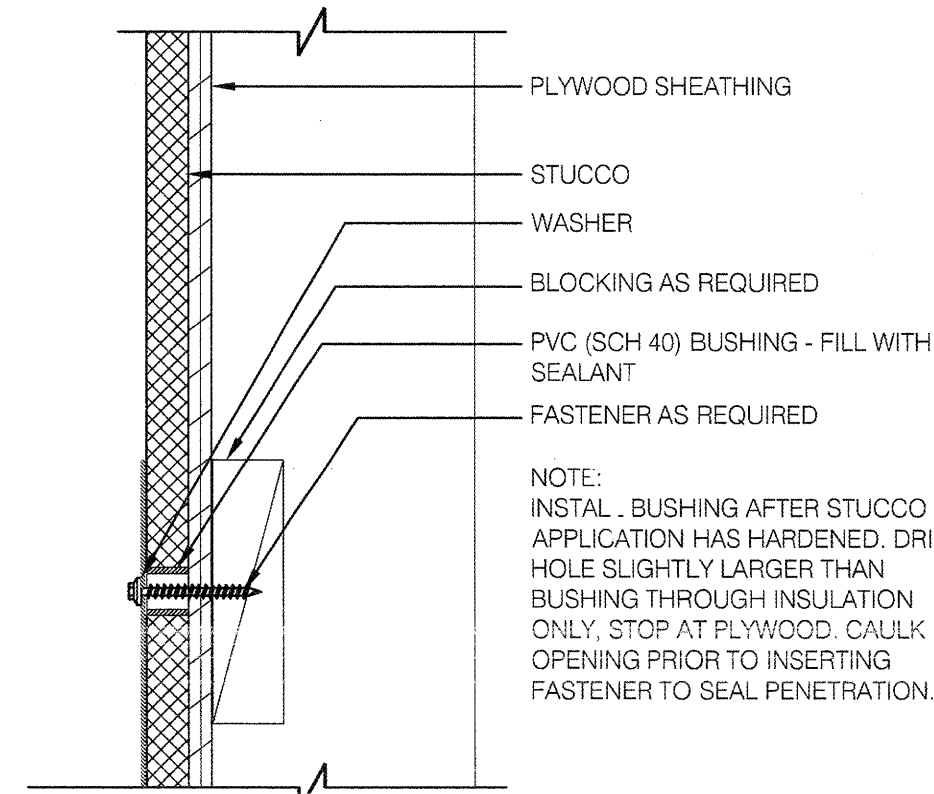
STEP 2
ADDING EIFS, SILL RECEPTOR & END DAM



STEP 3
FLASHING, BACKER ROD & CAULKING

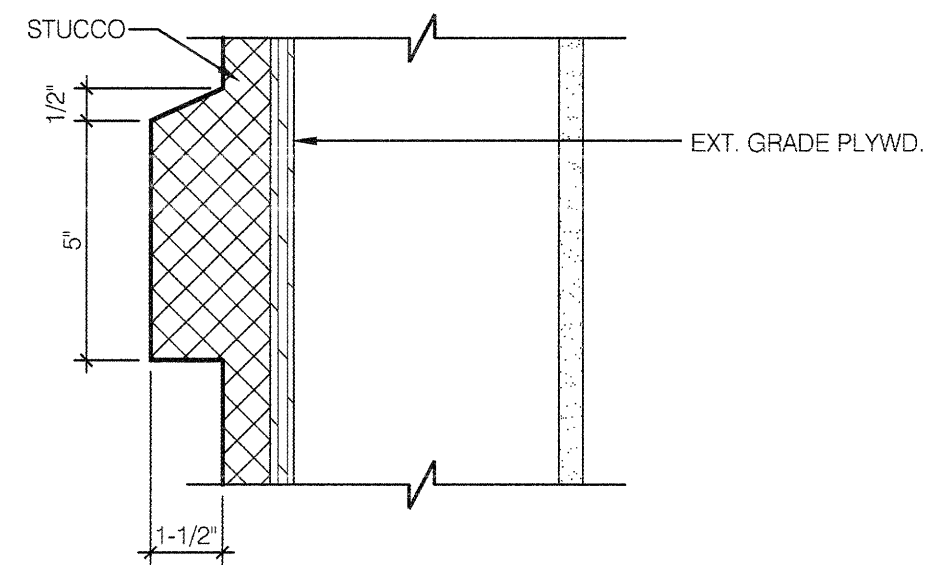
TYPICAL WINDOW WALL WATER PROOFING

16



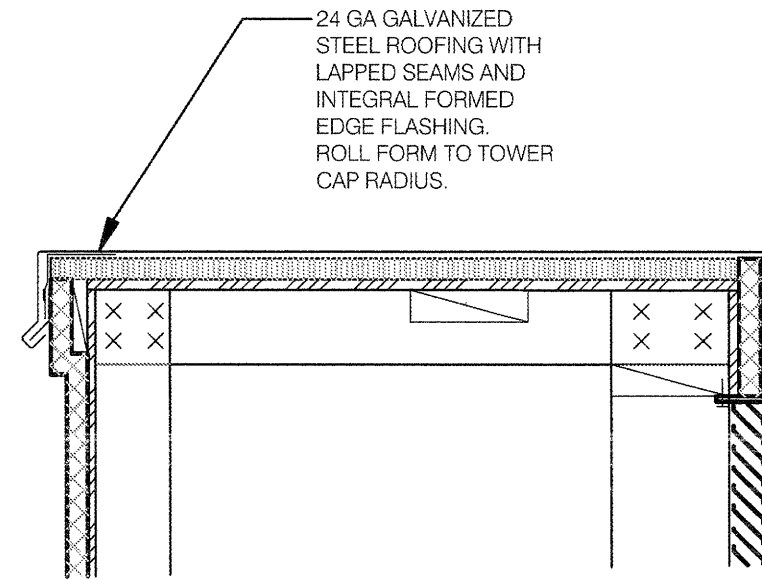
CONNECTION THRU STUCCO 3\"/>

YAW323

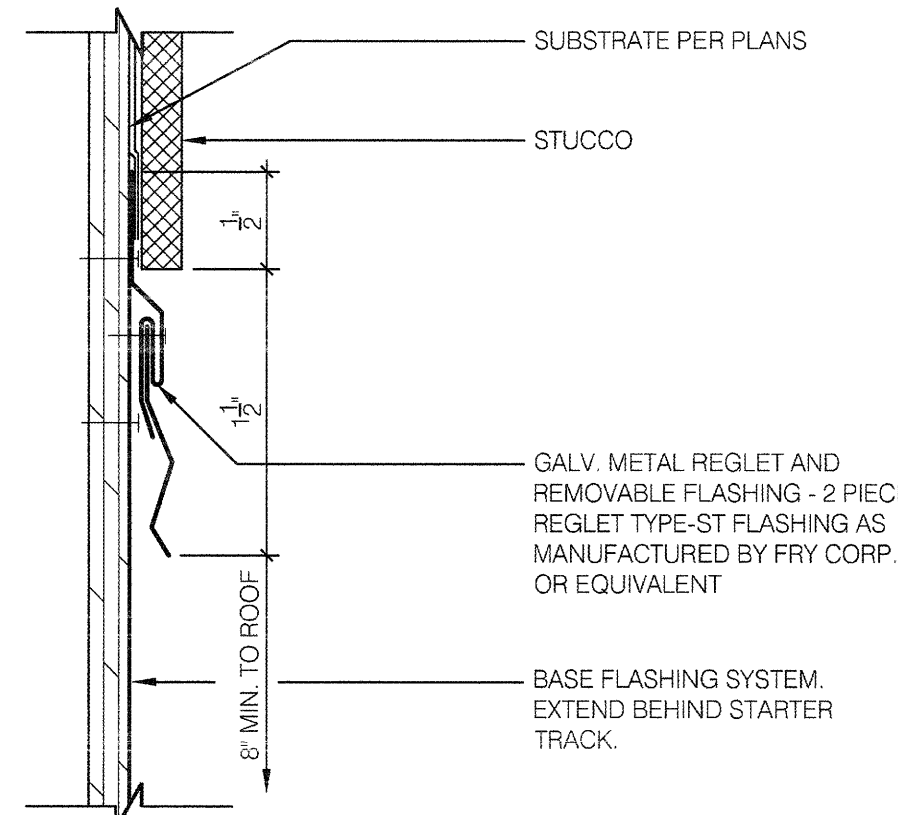


STUCCO BAND DETAIL 3\"/>

YAW325

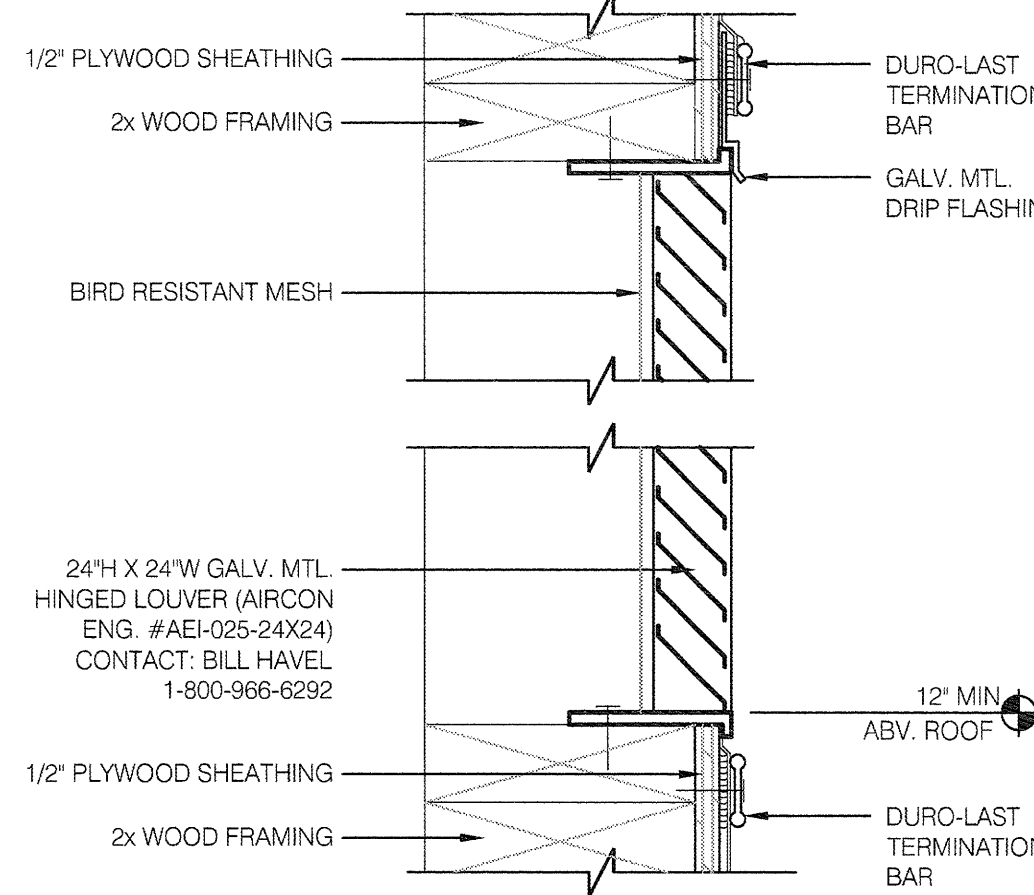


TOWER CAP TRIM N.T.S. 5



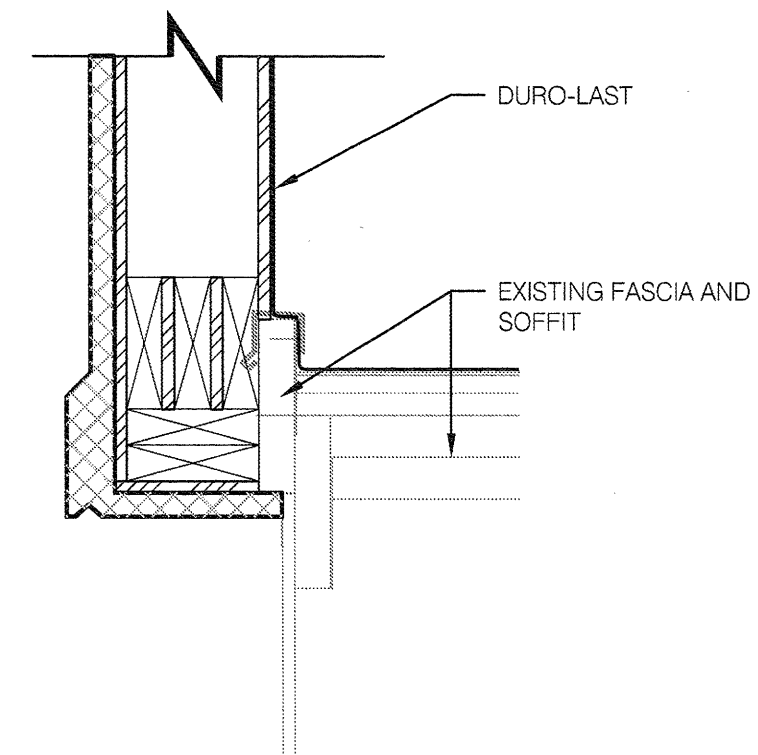
STUCCO TO BASE FLASHING N.T.S. 6

YAW325



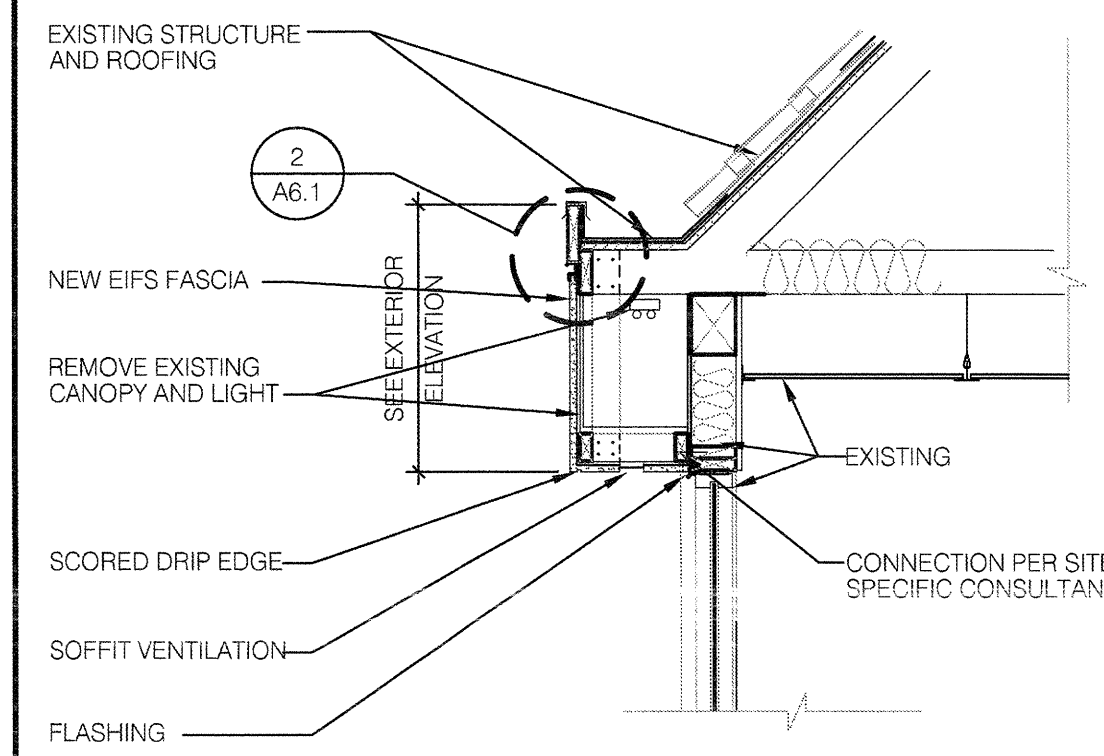
LOUVER DETAIL 3\"/>

YAW323



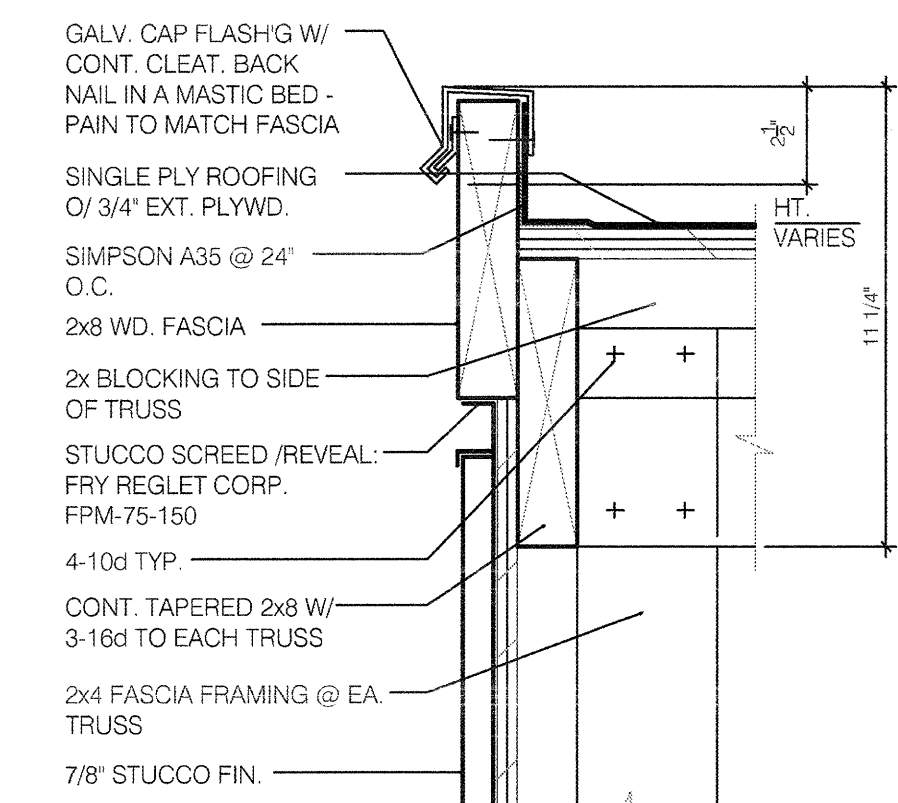
FLASHING @ FASCIA 1 1/2\"/>

TSR040



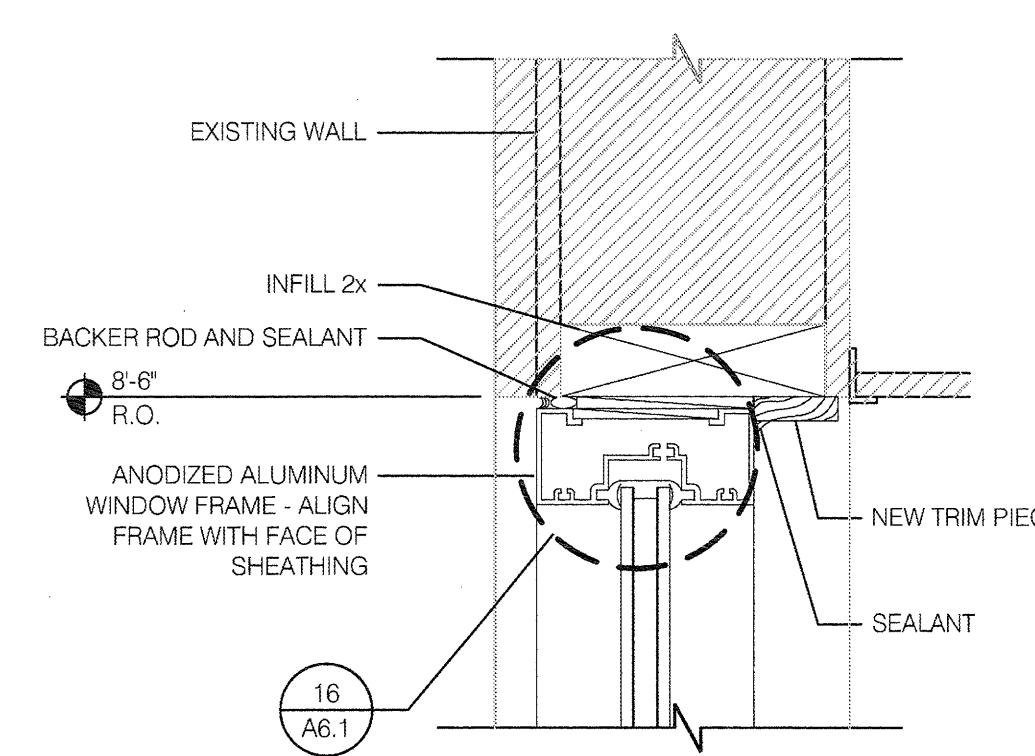
REPLACEMENT SOFFIT N.T.S. 1

TSR017



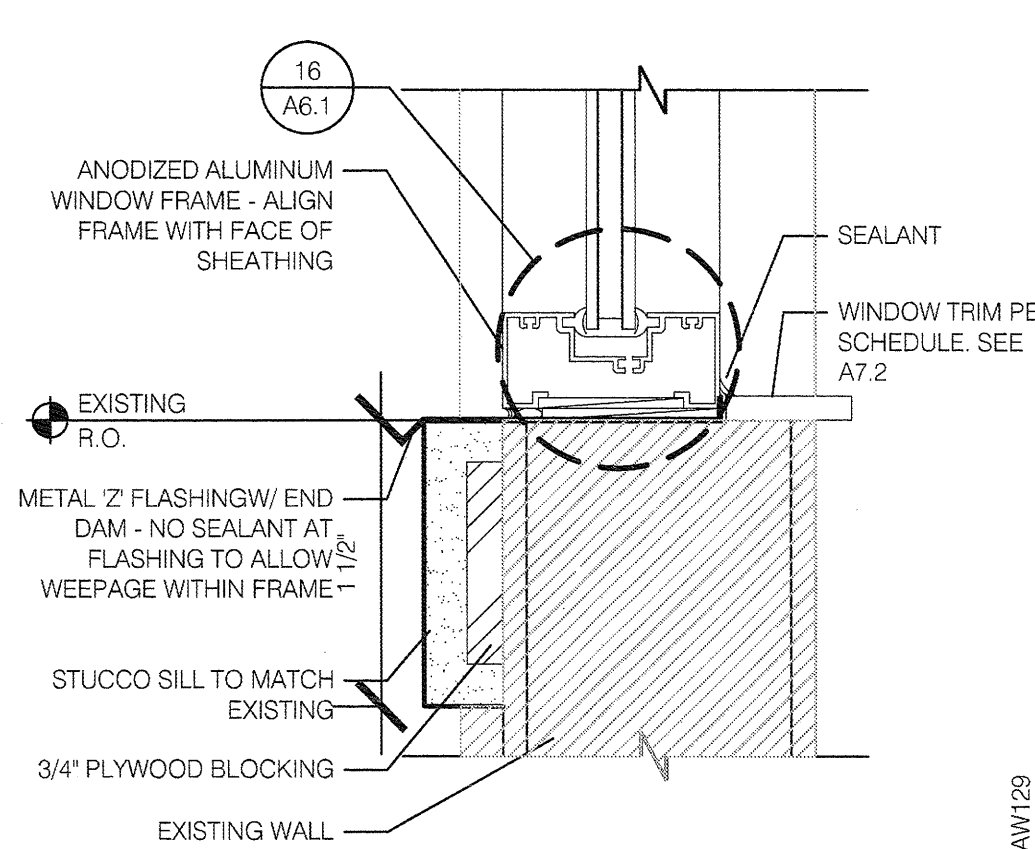
STUCCO FASCIA N.T.S. 2

TSR018



WINDOW HEAD (JAMB SIM.) 3\"/>

TAW128



WINDOW SILL 3\"/>

TAW129

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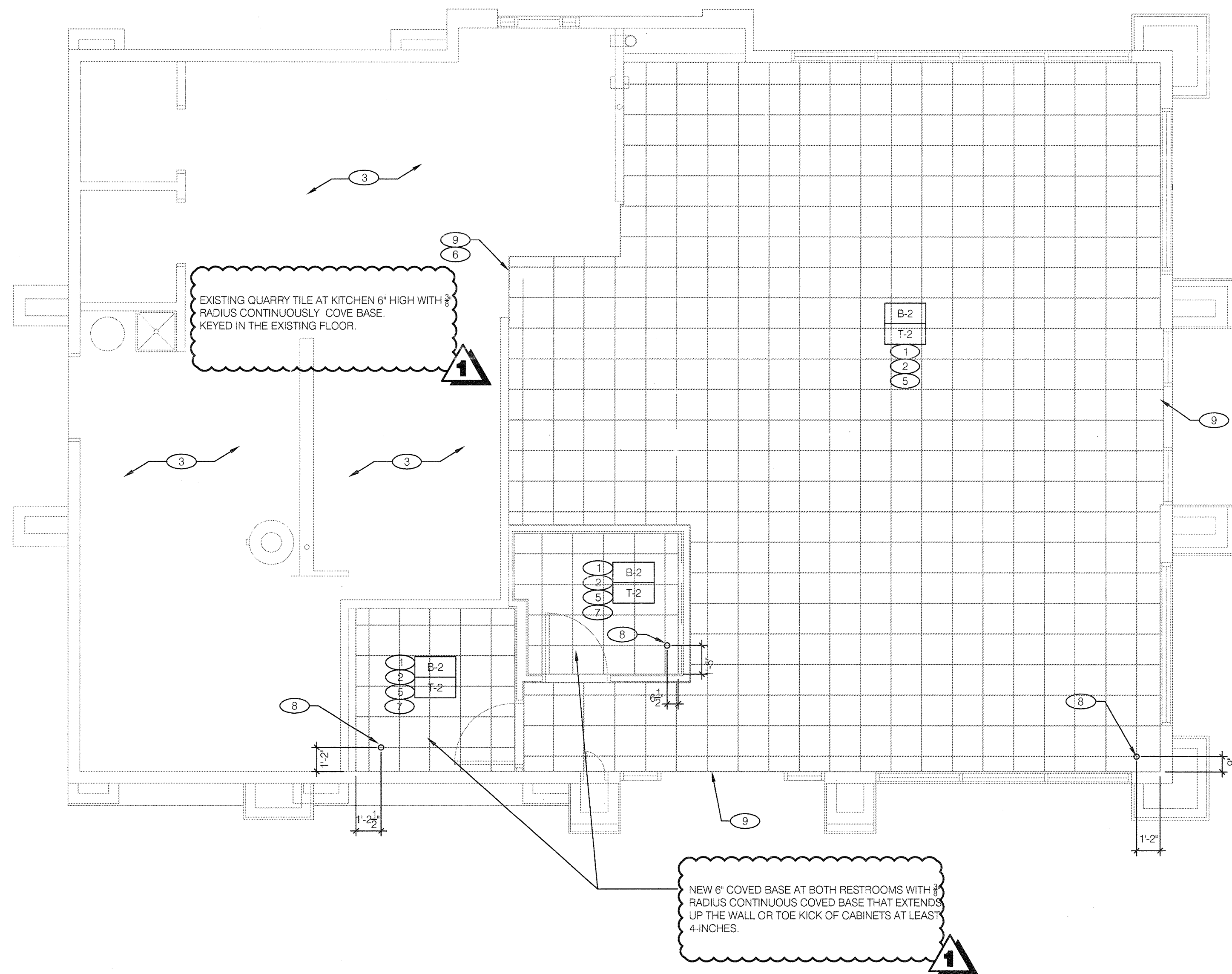
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CONTRACT DATE:
BUILDING TYPE: M70HD
PLAN VERSION: MAR 2014
SITE NUMBER:
STORE NUMBER: 019515

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BUILDING DIVISION
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M70HD

CONSTRUCTION
DETAILS
A6.1

PLOT DATE:



NOTES:
SEE INTERIOR ELEVATIONS, SHEETS A8.0 & A8.1 FOR
WALL TILE APPLICATION.



FINISH FLOOR PLAN 1/4"=1'-0" A

- A. SEE INTERIOR ELEVATIONS FOR PAINTING, GYPSUM BOARD AND TILE.
- B. DENOTES FINISH MATERIAL. REFER TO SHT A7.2 FOR FINISHES.
- C. TILE JOINTS (U.O.N.):
1. QUARRY FLOOR TILE : 1/4"
2. CERAMIC FLOOR TILE : 3/16"
3. GLAZED WALL TILE : 1/8"
4. BASE, TRIM AND ACCESSORIES : MATCH ADJOINING TILE UNITS
- D. PROVIDE BREAK IN TILE TO MATCH-UP WITH EXPANSION & CONTROL JOINTS IN SLAB.
- E. ALL BASE TILE SHALL BE SANITARY COVE STYLE WITH 3/8" MIN RADIUS.
- F. SEE SCOPE OF WORK FOR RESPONSIBILITIES.
- H. PROVIDE CLEAR SILICONE CAULK WHERE ALL FIXED AND BUILT-IN COUNTERS / EQUIPMENT ABUTS WALL SURFACE.
- I. SEE SHEET A1.0 FOR REFERENCES OF INTERIOR ELEVATIONS.
- J. ALL GROUT CAULK TO MATCH SPECIFIED GROUT COLOR.

- 1 NEW FLOOR TILE AND BASE. SEE FINISH NOTE B.
- 2 VERIFY EXISTING FINISHES. CONTACT THE ARCHITECT IN CASE OF DISCREPANCIES.
- 3 KITCHEN NOT IN SCOPE OF WORK
- 4 NOT USED.
- 5 G.C. SHALL PROVIDE 1/2" HIGH CEMENT BOARD BACKING, FLUSH WITH EXISTING WALL SURFACE, BEHIND ALL NEW QUARRY TILE BASES. PROVIDE A CLEAR SILICONE SEAL PAINT AT THE TOP OF THE BASE TILE. (FRONT OF HOUSE ONLY.)
- 6 INSTALL NEW TILE EDGE TO BE FLUSH WITH EXISTING TILE EDGE.
- 7 TOILETS TO BE TAKEN UP BEFORE TILE INSTALLATION. RESET TOILETS AFTER TILE INSTALLATION IS COMPLETE.
- 8 TILE START POINT.
- 9 TILE TRANSITION.

NOT USED

E

NOT USED

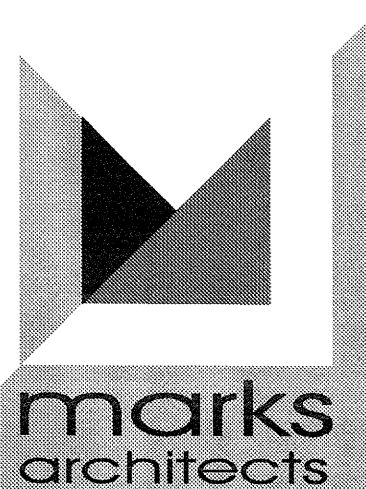
D

FINISH NOTES

C

KEY NOTES

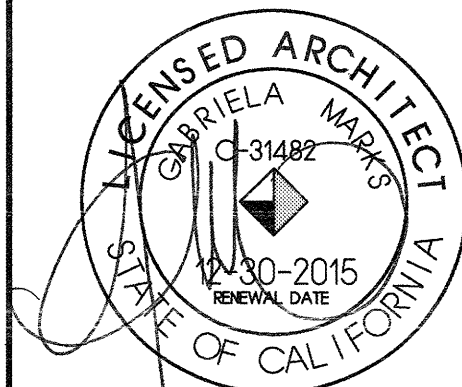
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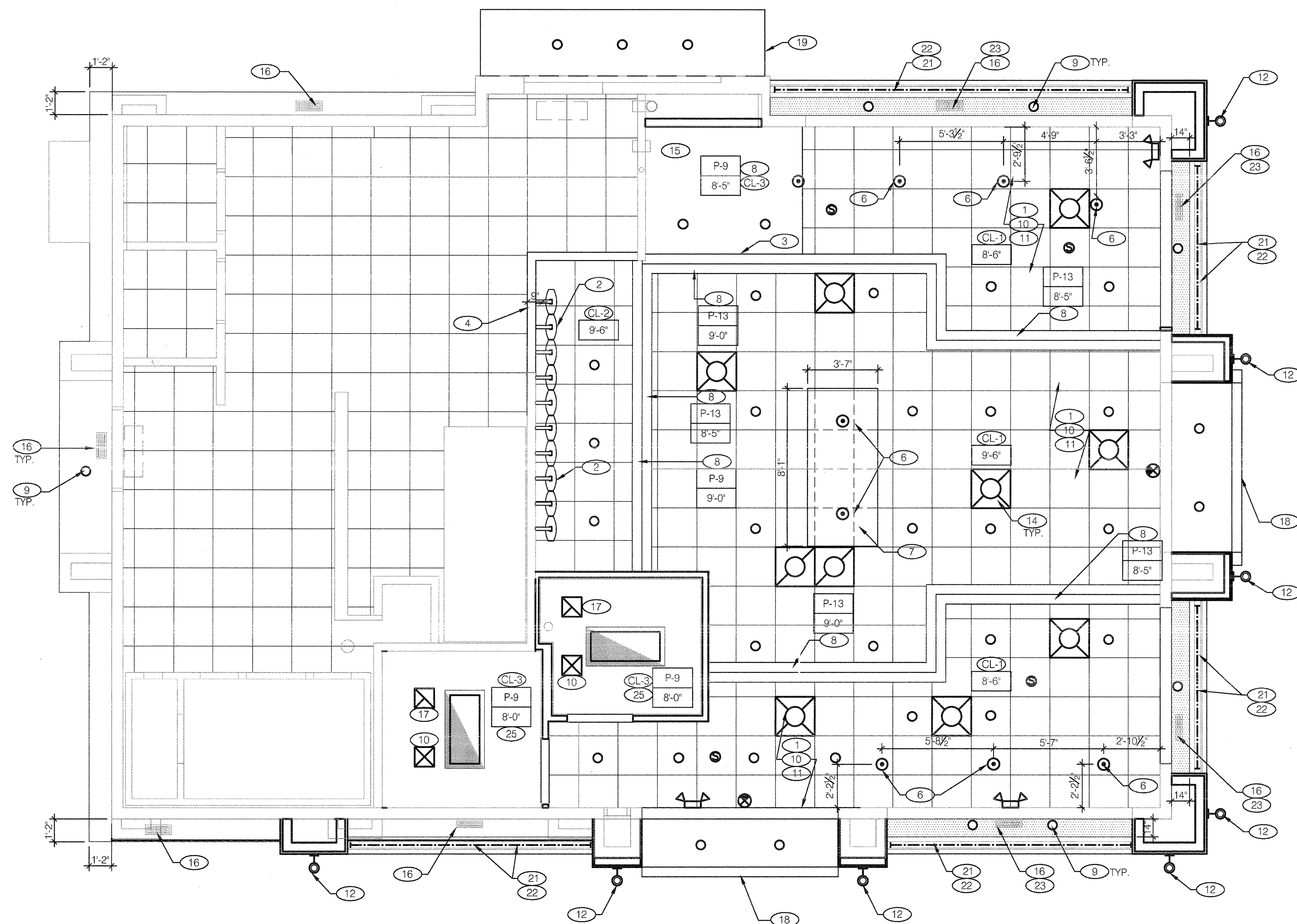


LIVE MAS
M70HD

FINISH
FLOOR
PLAN

A7.0

PLOT DATE:

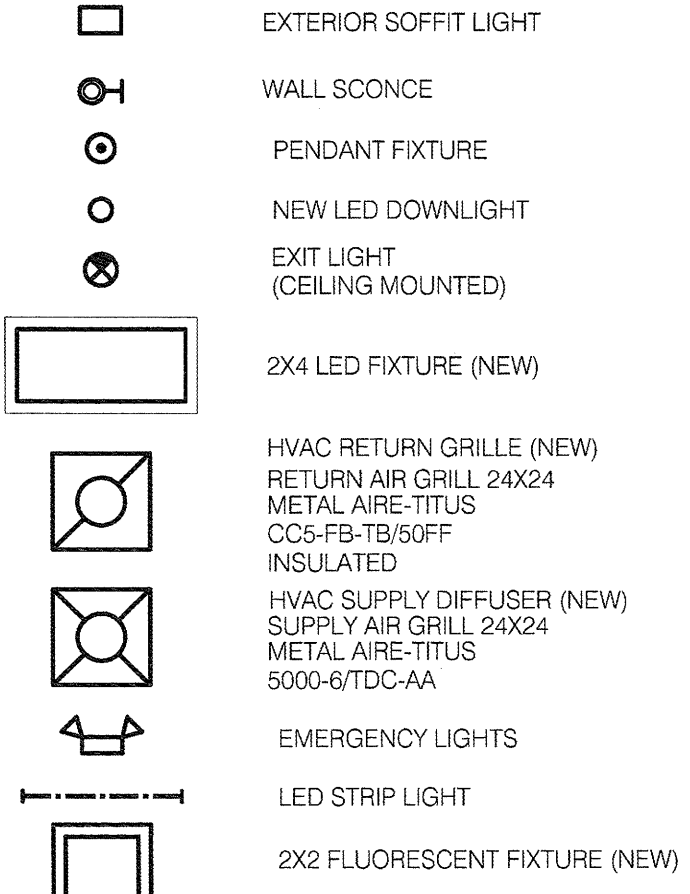


NOTE:
AT TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP, ALL DUCT AND OTHER RELATED SHALL BE COVERED WITH METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.

DESIGNER NOTE:
COMPANY STORES ARE REQUIRED TO INSTALL NEW LED FIXTURES IN THE BACK OF HOUSE AND RESTROOMS. FRANCHISEES WILL HAVE THIS OPTION BUT UPGRADING TO LED IS NOT REQUIRED. FRANCHISEES WILL HOWEVER ENSURE THE LIGHTING FIXTURES ARE IN LIKE NEW CONDITION PER SBA.

PLASTIC DIFFUSER SPECIFICATION N.T.S. **F**

MFR.: EGER PRODUCTS, INC.
MODEL: EGER ADVANTAGE AIR DIFFUSERS: EA314-B
COLOR: BLACK
SIZE: 2" TALL, 14" COLLAR
TYPE: DIFFUSER
MATERIAL: PLASTIC
MOUNTING: LAY-IN
DISTRIBUTOR: GARY BELTZ, OWNER
330.418.9348
BUCKEYE PLASTIC AIR DIFFUSERS
3936 APRIL DRIVE
UNITONTOWN, OHIO 44685



DIMENSIONS:
A. ALL DIMENSIONS ARE TO FACE OF FINISH U.O.N.

CEILING FINISHES:
A. REFER TO ROOM FINISH SCHEDULE (SHT A7.2) FOR CLG. FINISHES.

SUSPENDED CEILING:
A. ACOUSTICAL PANEL INSTALLATION: INSTALL ACOUSTICAL PANELS WITH EDGES IN CLOSE CONTACT WITH METAL SUPPORTS AND IN TRUE ALIGNMENT.
B. ALLOWABLE VARIATIONS FROM FLAT AND LEVEL SURFACE: 1/8" IN 10'-0" MAX.
C. ALLOWABLE VARIATIONS FROM PLUMB OF GRID MEMBERS: AS CAUSED BY ECCENTRIC LOADS, 2" MAX.
D. INSTALL SYSTEM AFTER MAJOR ABOVE CLG. WORK IS COMPLETE. COORD LOCATIONS OF HANGERS WITH RELATED WORK.
E. SEE SPECS FOR ADDITIONAL INFORMATION.
F. CUT EDGES OF REGULAR TILES SHALL BE ROUTED.

GYPSON BOARD CEILING:
A. SUBSTRATE SHALL BE 1/2" THICK GYP. BD.
B. ACOUSTICAL SEALANT: APPLY TO GYP. BD. PANELS AS INDICATED IN SPECS.
C. GYP. BD. FINISHING AND DECORATING: REFER TO DWGS FOR TEXTURE AND FINISHES.

ELECTRICAL:
A. SEE ELEC. DWGS. FOR FIXTURE SCHED.
B. EXISTING EMERGENCY LIGHTS TO REMAIN.
C. CEILING MOUNTED OUTLETS & PLATES SHALL BE BLACK.
D. PENDANTS SHALL BE CENTERED OVER TABLES. VERIFY TABLE LOCATIONS WITH SEATING VENDOR SUPPLIED CORE DRILL PLAN PRIOR TO LOCATING PENDANTS.

MECHANICAL:
A. ALL DINING ROOM SUPPLY AND RETURN GRILLES SHALL BE INSULATED. FAILURE TO COMPLY WILL RESULT IN INSTALLATION BEING REJECTED, CORRECTIONS MADE AND ALL REMEDIAL COSTS CHARGED BACK TO CONTRACTOR.

REFLECTED CEILING PLAN NOTES **D**

- EXISTING CEILING GRID TO BE RETAINED. PAINT COLOR P-1 PROVIDE NEW CEILING TILES PER SCHEDULE.
- NEW REVOLUTION MENUBOARD. (VERIFY, IT MAY BE EXISTING)
- LINE OF PAINT COLOR CHANGE
- EXISTING MENU BOARD BULK-HEAD.
- NOT USED.
- PENDANT LTG. - CENTER OVER TABLE TOP AS INDICATED. SEE ME1.0
- NEW OWNER SUPPLIED SOFFIT. COORDINATE LOCATION WITH SEATING PLAN A2.0. PENDANTS TO BE MOUNTED TO BOTTOM OF SOFFIT. SEE 1/A6.0
- EXISTING SOFFIT TO REMAIN.
- NEW RECESSED DOWNLIGHT. SEE ME1.0.
- REPLACE EXISTING GRILLES/DIFFUSERS
- ALL NEW AND REUSED CEILING ACCESSORIES SHALL BE PAINTED SATIN BLACK.
- WALL SCONCE. SEE E4.0 FOR MOUNTING HEIGHT OF FIXTURE.
- NOT USED.
- PROVIDE NEW DIFFUSERS IN GENERAL PROXIMITY TO EXISTING DUCT WORK. INSULATE DIFFUSERS, THROAT, AND DUCTWORK.

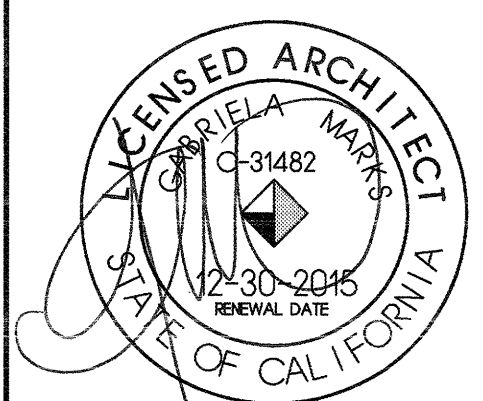
- COORDINATE WITH PEPSI FOR EQUIPMENT PROVIDED AND MODIFY CEILING AS REQUIRED TO MAINTAIN CLEARANCES FOR ICE MACHINE. NOTIFY ARCHITECT PRIOR TO BUILDING MODIFICATIONS IN THIS AREA.
- SOFFIT VENTING MUST COMPLY WITH THE FOLLOWING: ENCLOSED ATTICS/RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FRAMING SHALL HAVE NET FREE VENTILATING AREA OF NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, OR AS REQUIRED BY LOCAL CODE. PROVIDE 4"x12" MIN. SOFFIT VENTS. NO VENTS TO BE WITHIN 3' OF SOFFIT CAN LIGHTS.
- NEW EXHAUST GRILLE. CONNECT GRILLE TO EXISTING EXHAUST DUCTWORK ABOVE CEILING.
- NEW FRAMED CANOPY W/ DOWNLIGHTS.
- NEW CANOPY BY VENDOR. SEE SCOPE OF WORK
- KEEP ALL CAN LIGHTS IN DINING ROOM. RELOCATE AS SHOW. RE-LAMP ALL FIXTURES SEE E2.0
- NEW LED LIGHT MOUNTED ON DECORATIVE SLATS
- NEW DECORATIVE ALUMINUM SLATS
- REMOVE ILLUMINATED AWNING (WHERE OCCURS) AND CONSTRUCT NEW WOOD FRAMED SOFFIT PER DETAIL 1/A6.1
- SIZE/SPLIT DUCTS TO INSURE 35-CFM IS SUPPLIED TO THIS DIFFUSER. REBALANCE STORE AS REQUIRED TO PROVIDE +150CFM POSITIVE.
- NEW LED TROFFER LIGHTING IN BACK OF HOUSE AND RESTROOMS, SEE ME1.0

KEY NOTES **B**

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BUILDING DEPT. SUBMITTAL	8.6.15
BUILDING DEPT. CORR.	01.08.16

CONTRACT DATE:
BUILDING TYPE: M70HD
PLAN VERSION: MAR 2014
SITE NUMBER:
STORE NUMBER: 019515

TACO BELL

3690 STEVENS CREEK BLVD
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REFLECTED CEILING PLAN

A7.1

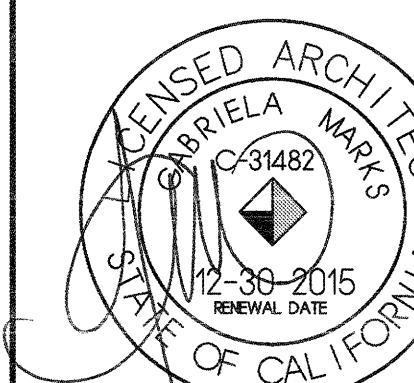
PLOT DATE:

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CONTRACT DATE:
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TACO BELL

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SAN JOSE, CA 95117

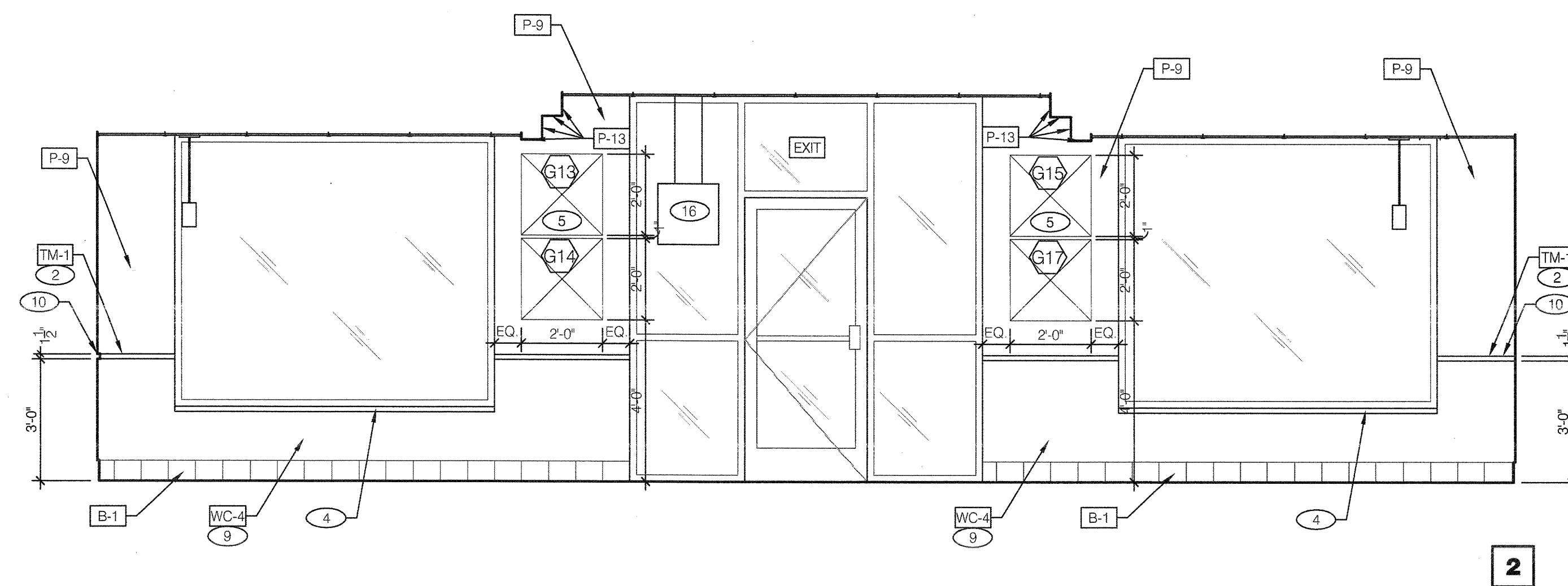


LIVE MAS
M70HD

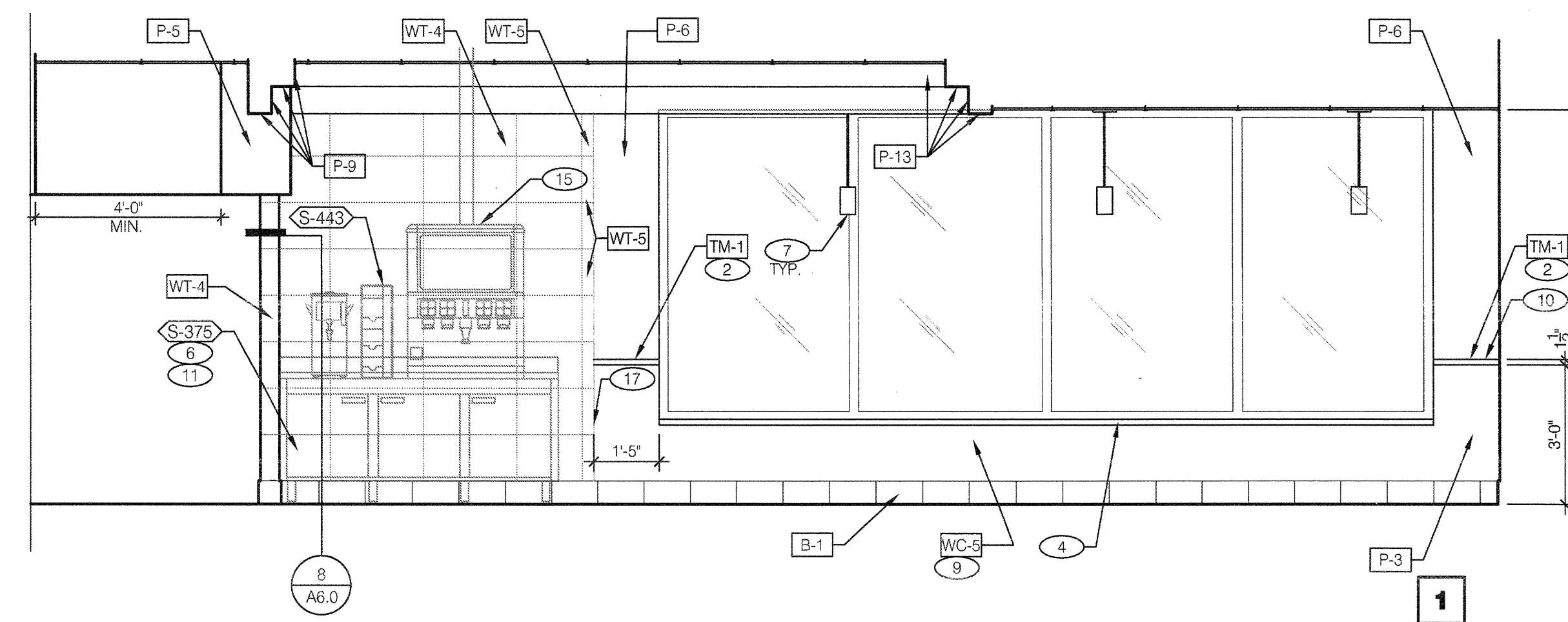
INTERIOR
ELEVATIONS
DINING ROOM

A8.0

PLAT DATE:

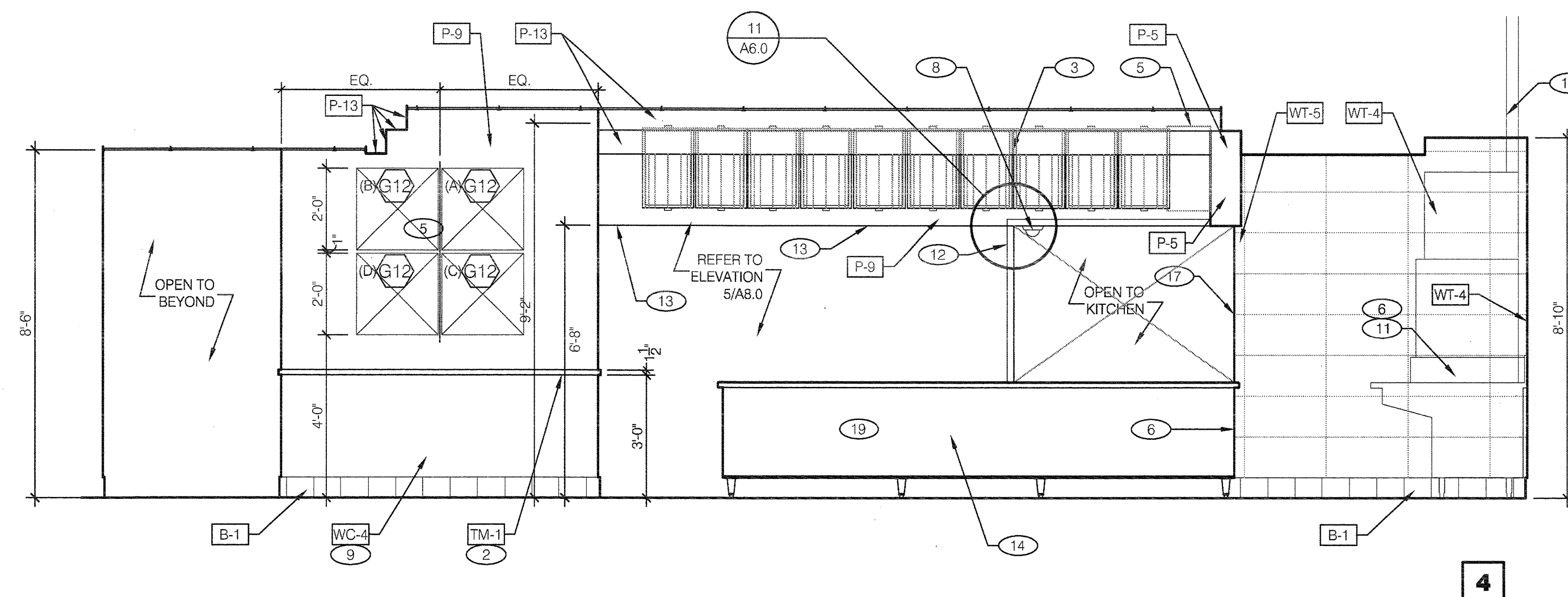


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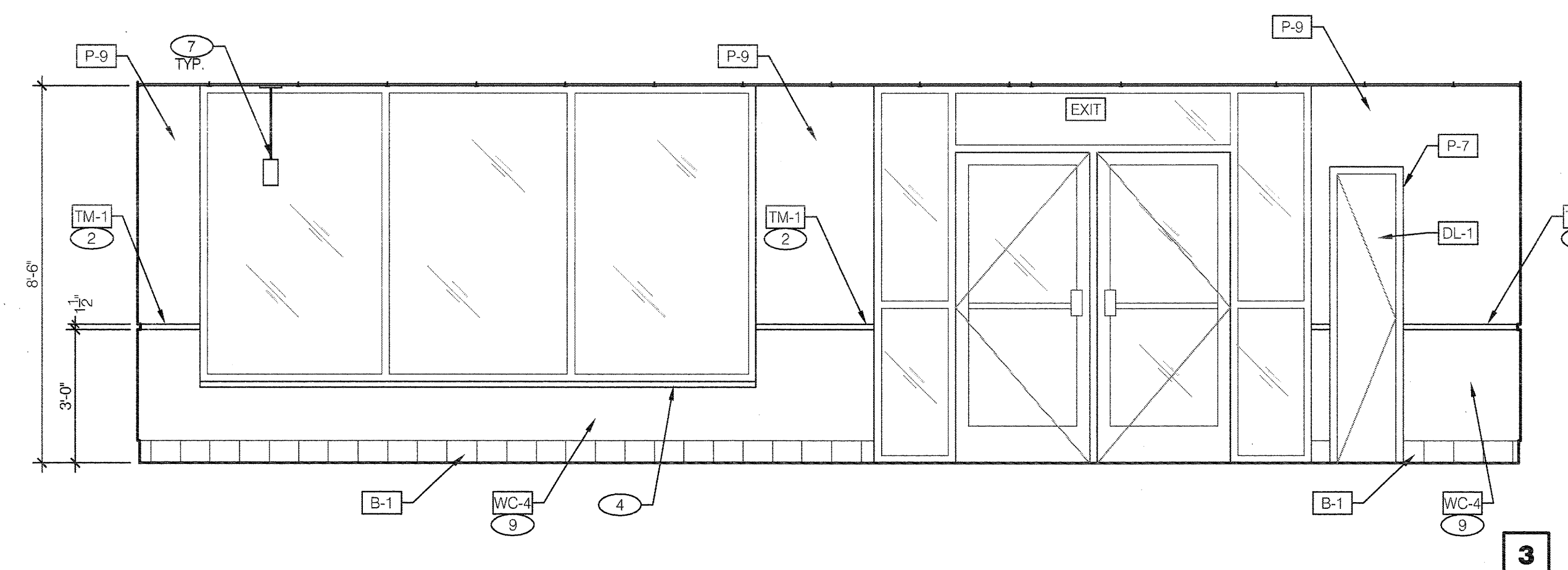


1

DINING 3/8"=1'-0"

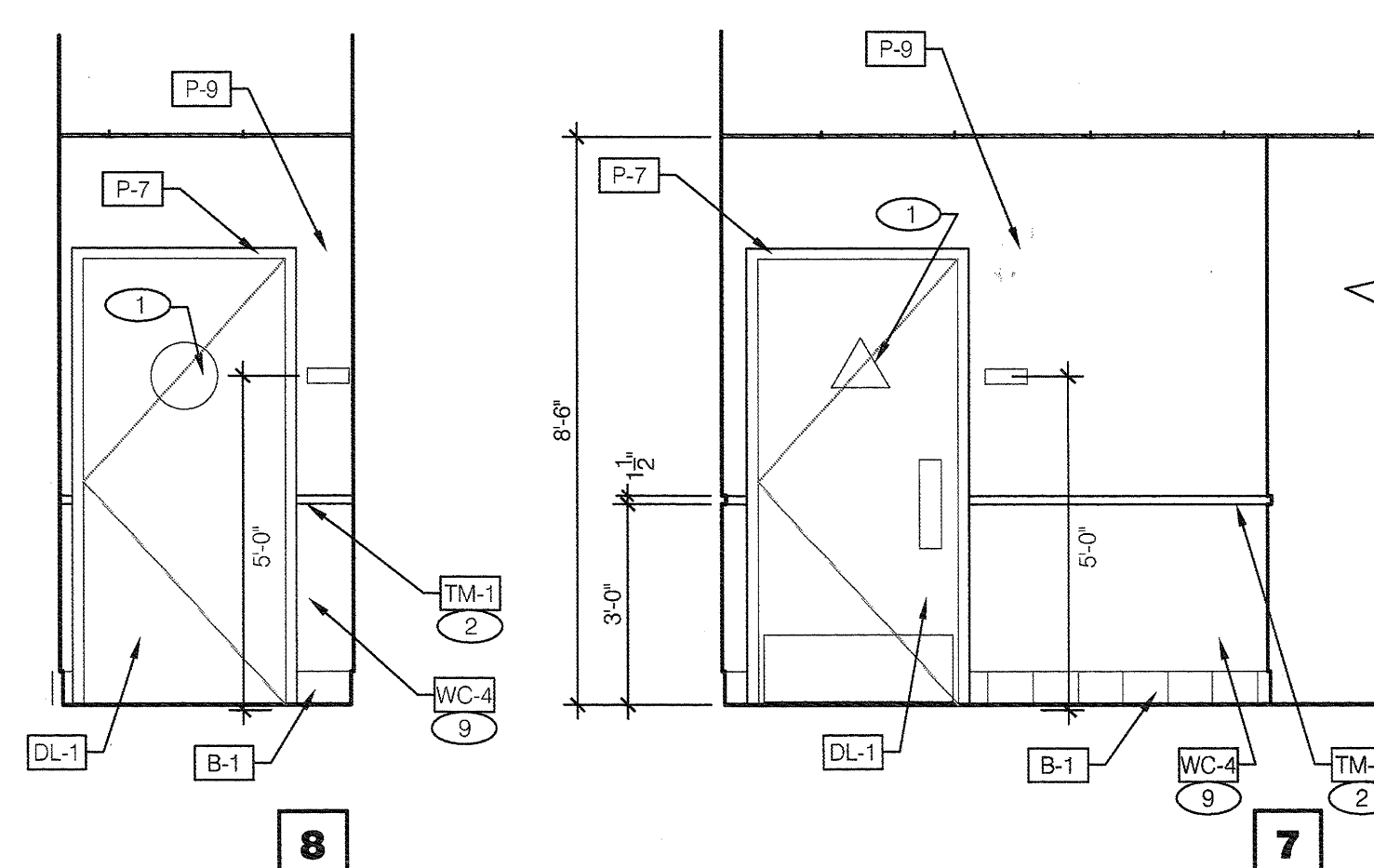


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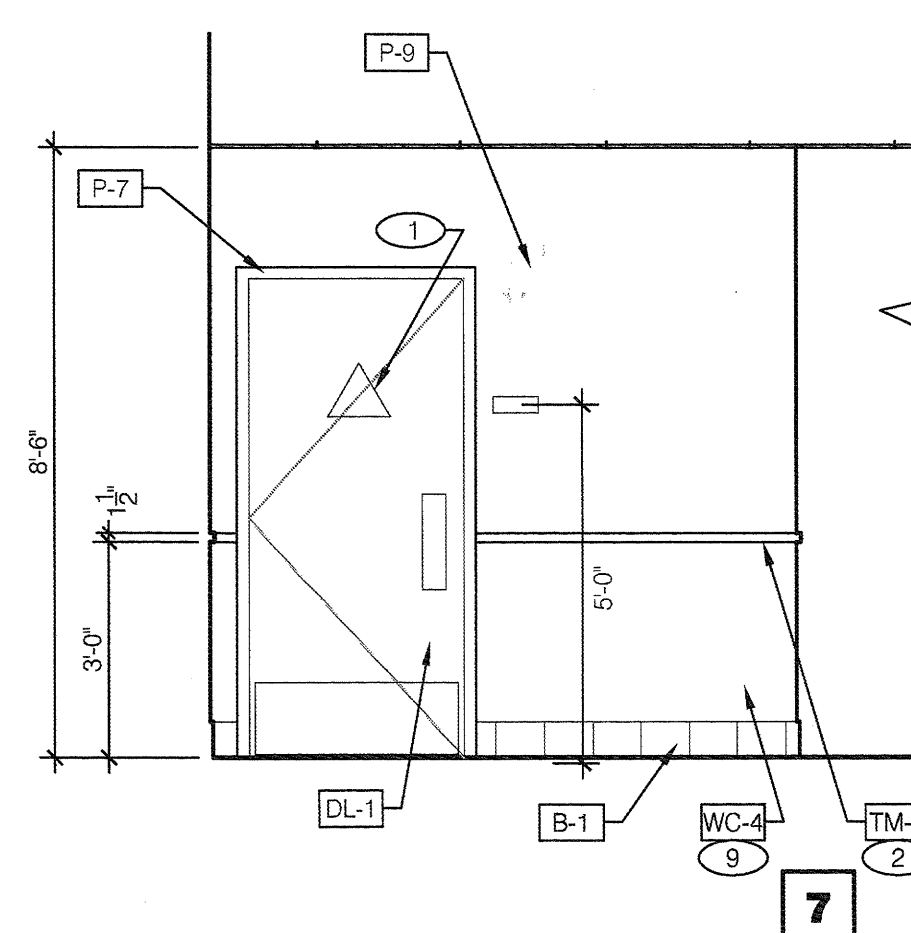


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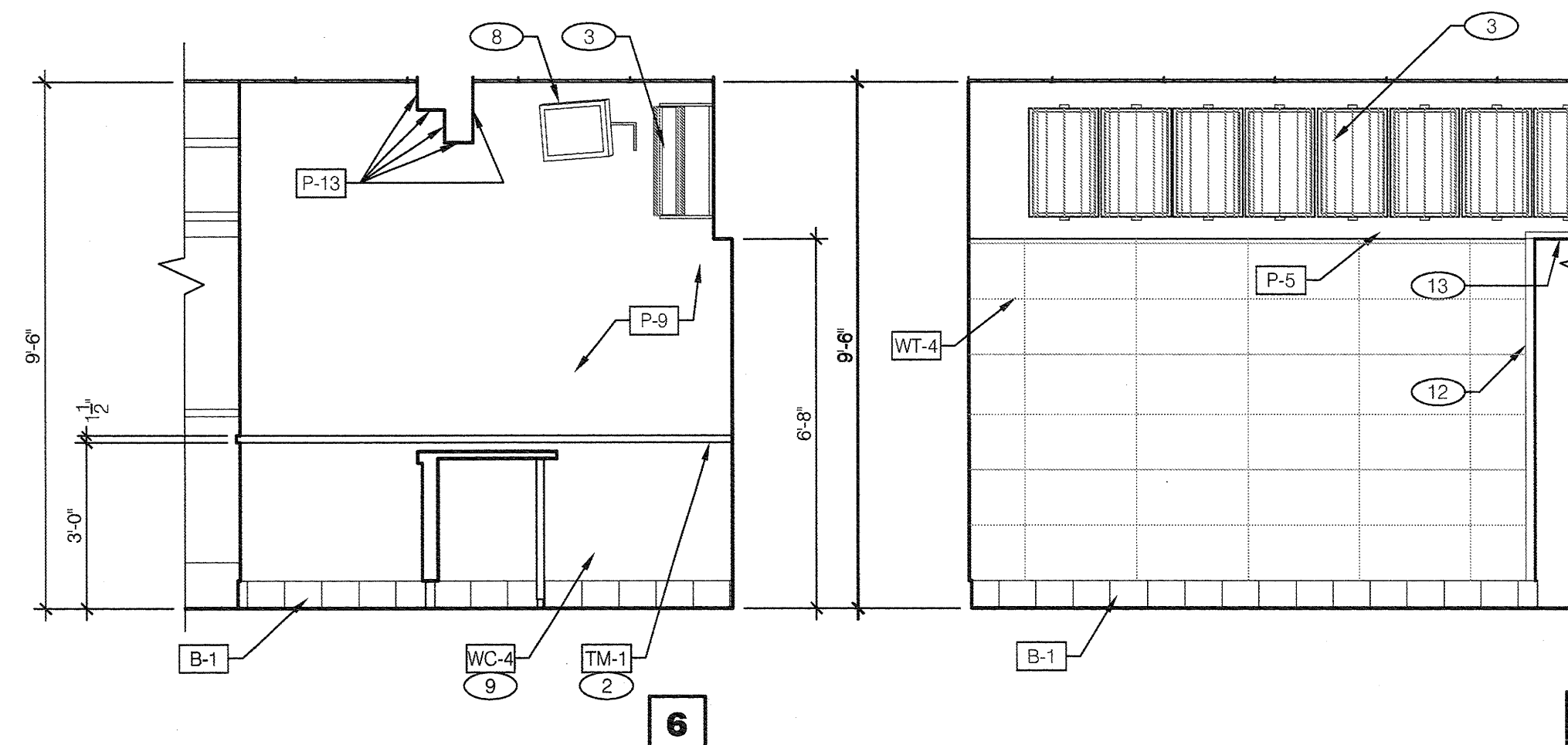
DINING 3/8"=1'-0"



8



7



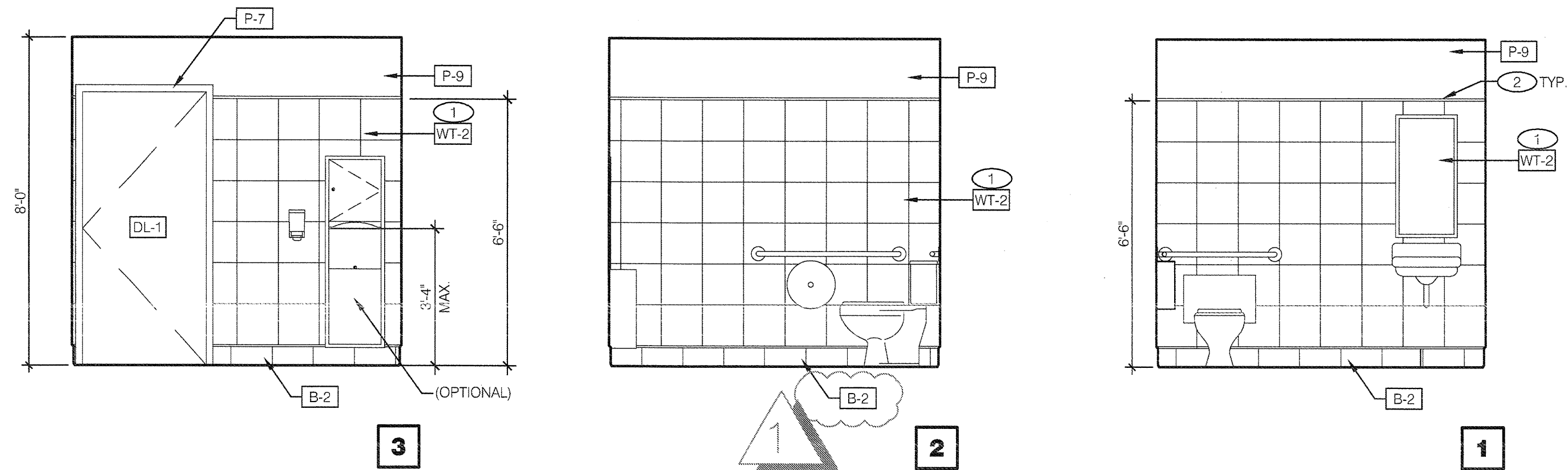
6

PASSAGE 3/8"=1'-0"

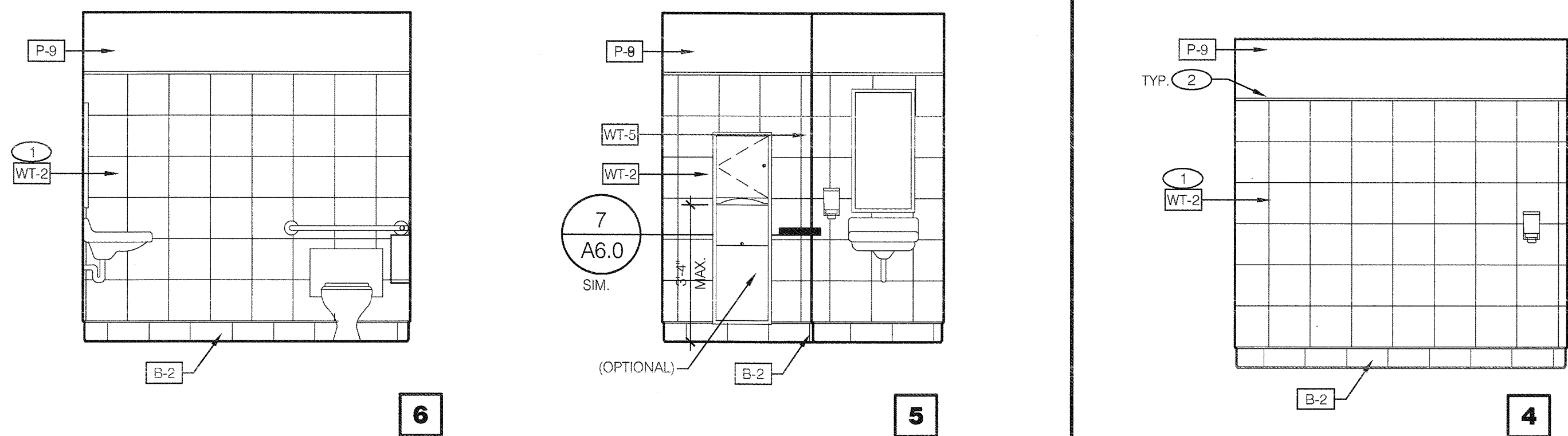
KEY NOTES

A

- 1 ACCESSIBLE SIGNAGE, VERIFY LOCAL REQUIREMENTS.
- 2 CHAIR RAIL. SEE 15/A6.0.
- 3 REVOLUTION MENUBOARD
- 4 WINDOW SILL
- 5 24"X24" ART PANELS
- 6 PROVIDE CLEAR SILICONE CAULK WHERE ALL FIXED AND BUILT-IN COUNTERS / EQUIPMENT ABUT WALL SURFACES. WHERE GAP BETWEEN WALL AND COUNTER SPLASH / EQUIPMENT EXCEEDS 1/4", PROVIDE S.S. CLOSURE ANGLE.
- 7 DROP PENDANT LIGHT FIXTURE. SEE SCOPE OF WORK.
- 8 CCTV CAMERA/ MONITOR.
- 9 REFER TO 13, 14 & 17/A6.0 FOR WAINSCOT INSTALLATION.
- 10 START CHAIR RAIL. SEE SHT. A1.0 FOR DIMENSIONS.
- 11 OMIT CHAIR RAIL BEHIND DRINK STATION.
- 12 1-1/2" X 1-1/2" SS CORNER/ END WALL CHANNEL GUARD, FULL HEIGHT.
- 13 STAINLESS WRAP TO FINISH OFF UNDERSIDE OF BULKHEAD.
- 14 SERVING COUNTER. REFER TO SHEET A2.0.
- 15 PROVIDE STAINLESS SHROUD TO COVER REFRIGERATION LINES ABOVE SELF SERVE DRINK
- 16 "DRIVE THRU OPEN LATE" SIGN. INSTALL ON STREET SIDE.
- 17 TILE BULLNOSE.

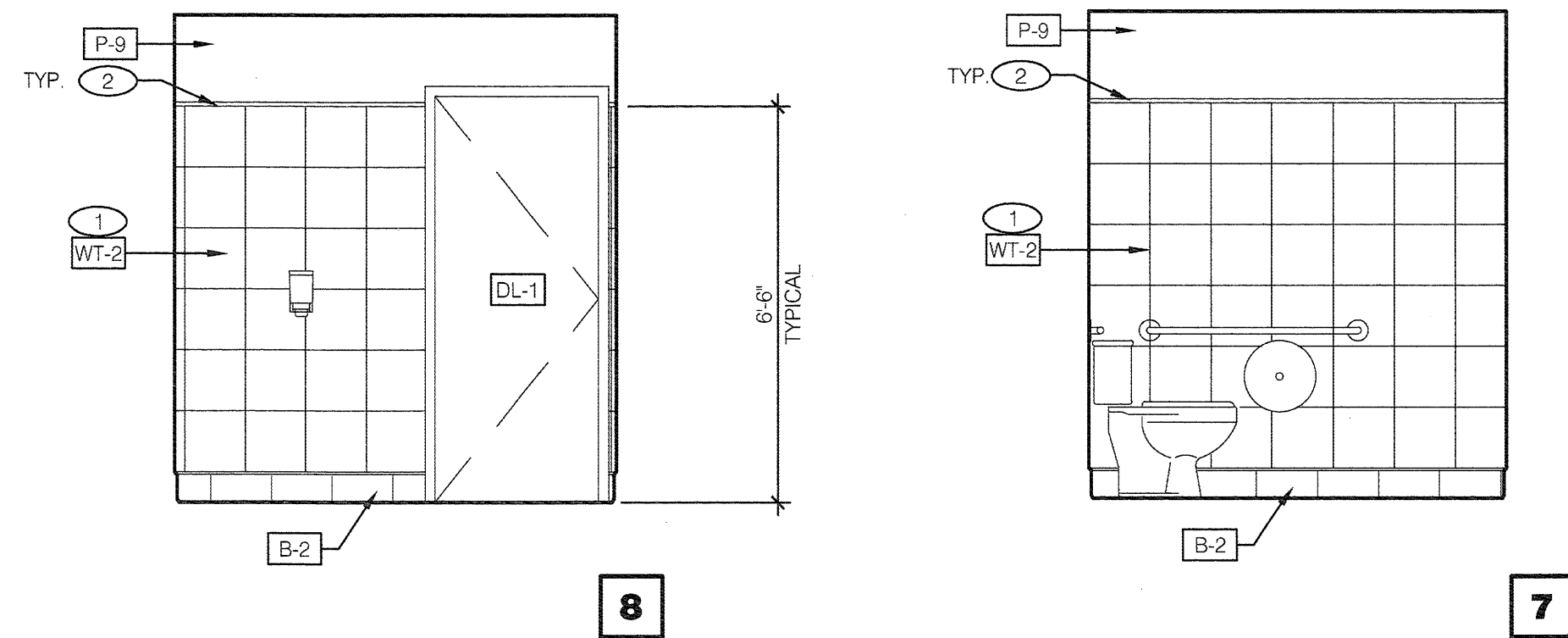


MEN'S RESTROOM 3/8"=1'-0"



WOMEN'S RESTROOM 3/8"=1'-0"

MEN'S RESTROOM 3/8"=1'-0"



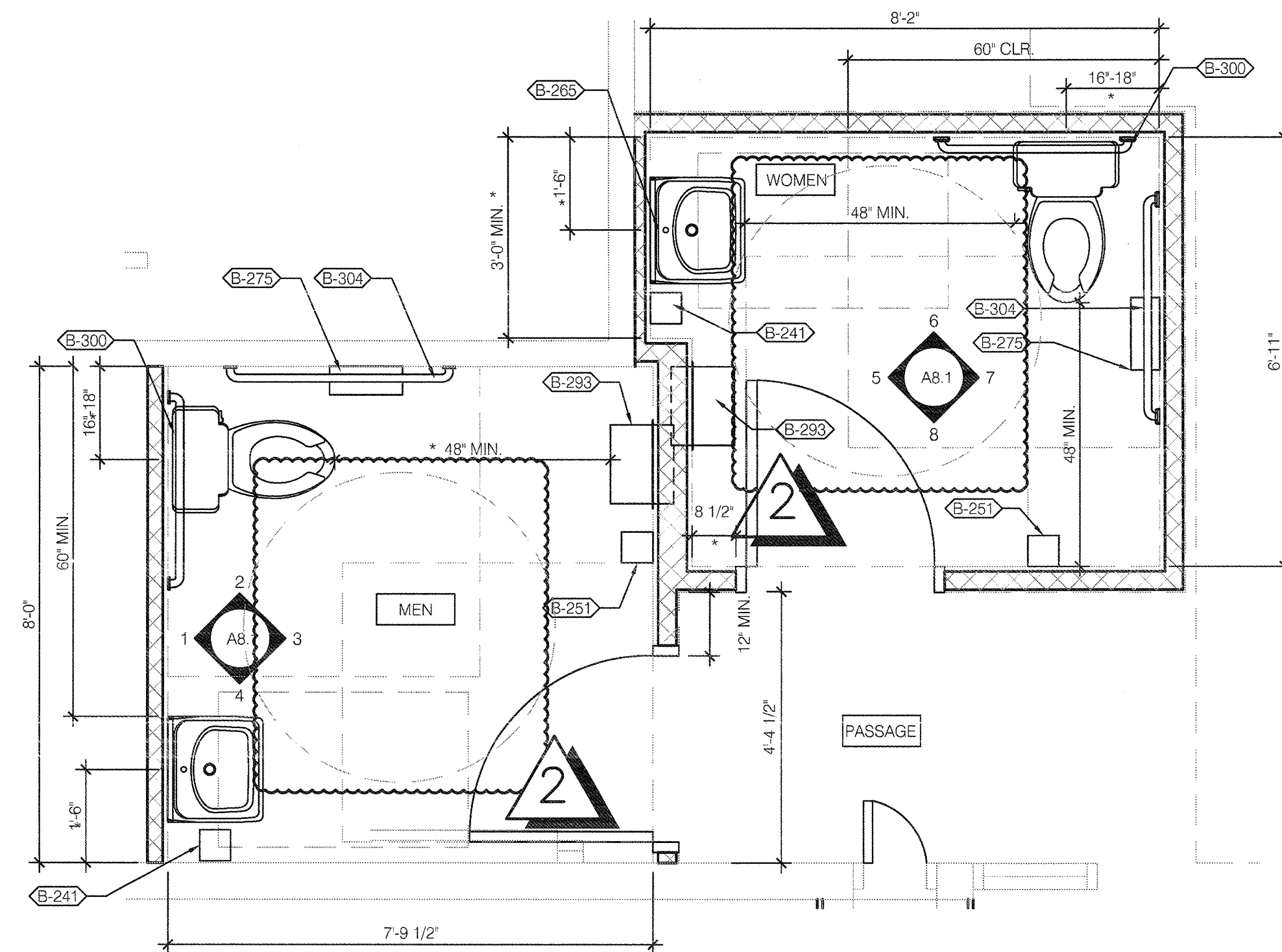
WOMEN'S RESTROOM 3/8"=1'-0"

NOTE: REFER TO SHEET ADA1.0 FOR MOUNTING HEIGHTS AND CLEARANCES OF ACCESSORIES AND FIXTURES.

NO.	QTY.	MINIMUM EQUIPMENT REQUIRED	MFR. & MODEL NUMBER
B - CONTRACTOR BUILDING ELEMENTS			
B-241	2	SOAP DISPENSER (WALL MOUNT)	KAY 3741
B-251	2	SANITIZER DISPENSER (WALL MOUNT)	KAY 3741
B-265	1	MIRROR, 18" X 36"	BOBRICK #B-265-1836 SURFACE MTD
B-275	2	TOILET PAPER DISPENSER	BOBRICK B2930 SURFACE MTD
B-293	2	COMBO PAPER TOWEL DISPENSER/TRASH RECEPT.	BOBRICK #B-3947 SEMI-RECESSED MTD (HAS 8" PROJECTION)*
B-300	2	GRAB BAR 1-1/2"DIA X 36" S.S. FIN.	BOBRICK #B6806X36 SURFACE MTD
B-304	2	GRAB BAR 1-1/2"DIA X 48" S.S. FIN.	BOBRICK #B6806X48 SURFACE MTD

* CONSULTANT SHALL VERIFY B-3947 WILL COMPLY WITH CODES.
OTHER OPTIONS FOR COMBO UNIT:
B-3944 = 4-1/8" PROJECTION
B-39034 = FLUSH

RESTROOM ACCESSORY SCHEDULE 3/8"=1'-0"



NOTE: ALL DIMENSIONS IN THIS PLAN ARE FINISH-TO-FINISH DIMENSIONS OR FINISH-TO-CENTER OF FIXTURE DIMENSIONS
* INDICATES ABSOLUTE DIMENSION

ENLARGED RESTROOM PLAN 1/2"=1'-0" **A**

- WALL TILE AS INDICATED, SEE GENERAL NOTES #8.
- PROVIDE QUARTER-ROUND PLASTIC TRIM ON TOP OF THE LAST TILE COURSE.

- REFER TO 'FLOOR PLAN NOTES,' SHEET A1, FOR BLOCKING AND SUBSTRATE NOTES.
- DENOTES FINISH MATERIAL. REFER TO SHEET A7.2 FOR FINISH SCHEDULE.
- DENOTES NEW TOILET ROOM ACCESSORIES.

- PROVIDE PROPER 2x BLOCKING AT WALL RECESSED MOUNTED ACCESSORIES.
- GRAB BARS, FASTENERS AND MOUNTING DEVICES SHALL BE INSTALLED PER ADA REQUIREMENTS.
- REFER TO FLOOR PLAN NOTES FOR BLOCKING AND SUBSTRATE NOTES.
- LOCATE FLUSH HANDLE ON WIDE SIDE OF STALL.
- PROVIDE WALL TILE BEHIND ENTIRE MIRROR AREA TO ALIGN MOUNTING SURFACES.
- REFER TO ACCESSIBILITY CODES FOR MOUNTING HEIGHTS AND CLEARANCES OF ACCESSORIES AND FIXTURES.
- ALL DIMENSIONS THIS DRAWING ARE TO FINISH SURFACE.
- PROVIDE 5/8" CEMENTITIOUS BOARD SUBSTRATE FULL HEIGHT BEHIND ALL NEW TILED WALLS.

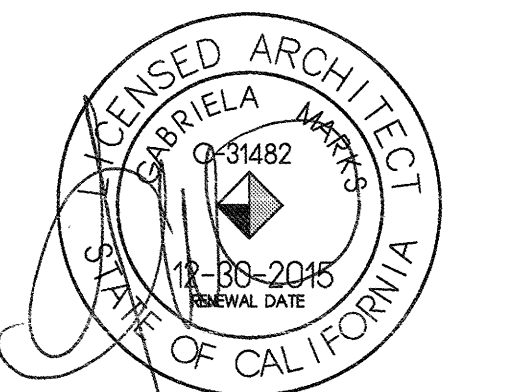
KEY NOTES/GENERAL NOTES **B**

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BUILDING DEPT. SUBMITTAL 8.6.15
HEALTH DEPT. CORR. 10.06.15
BUILDING DEPT. CORR. 01.08.16

CONTRACT DATE:
BUILDING TYPE: M70HD
PLAN VERSION: MAR 2014
SITE NUMBER:
STORE NUMBER: 019515

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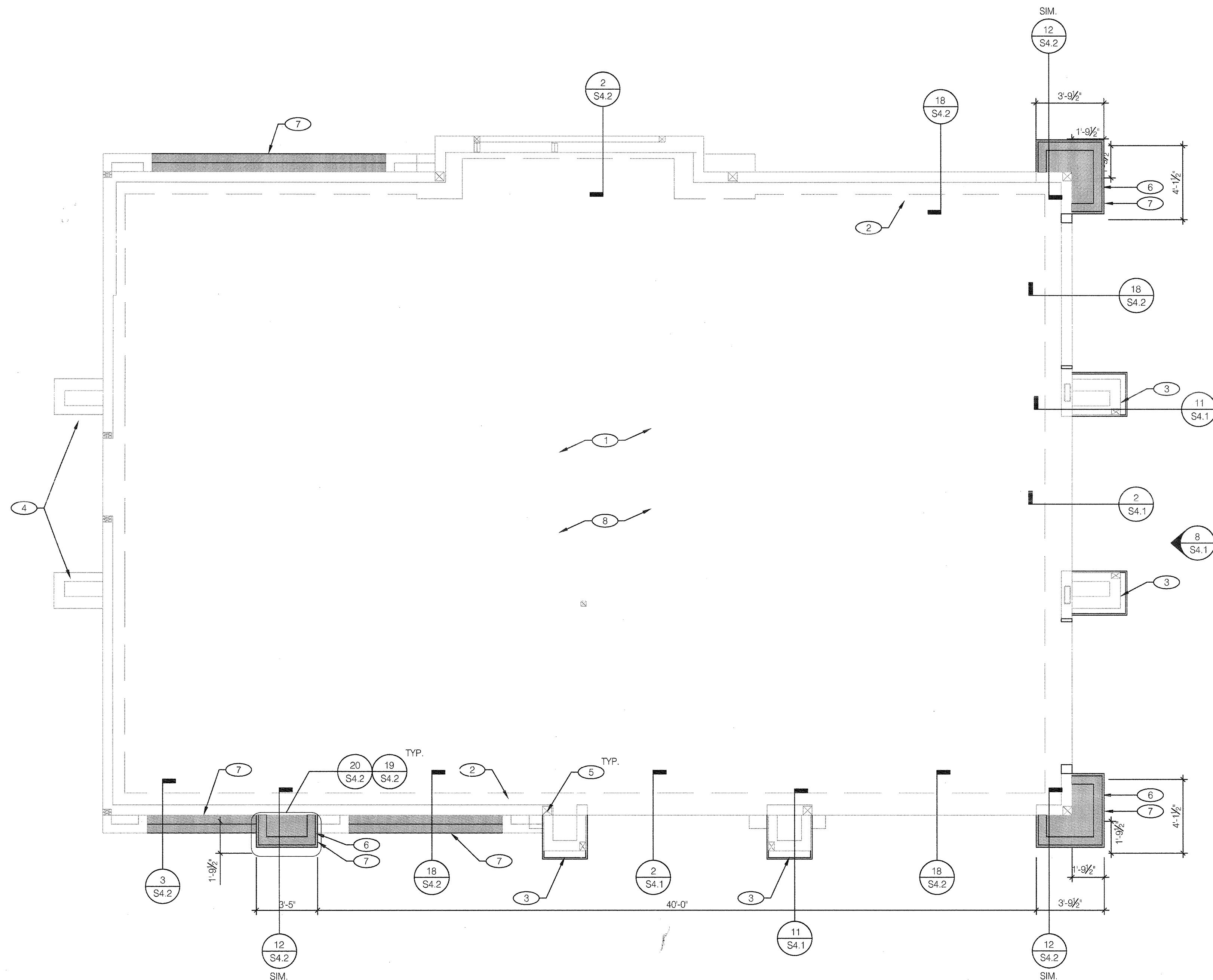


LIVE MAS
M70HD

**INTERIOR ELEV
ENLARGED
RESTROOM**

A8.1

PLOT DATE:

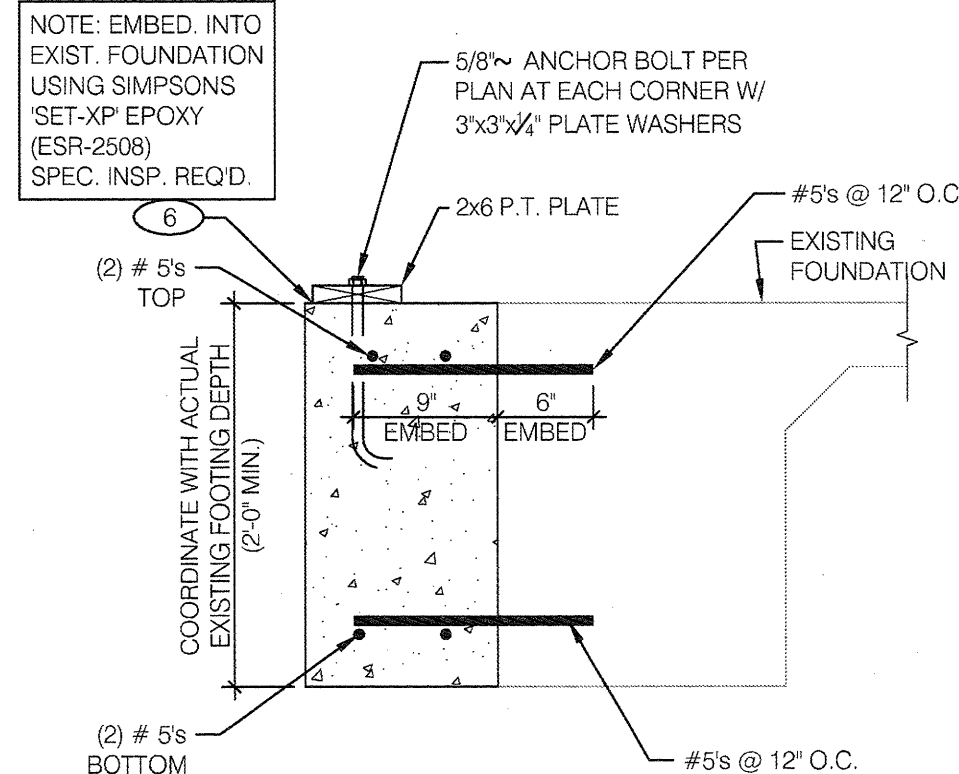


SEE 9/S4.2 FOR WALL SHEATHING AND SHEARWALL SCHEDULE

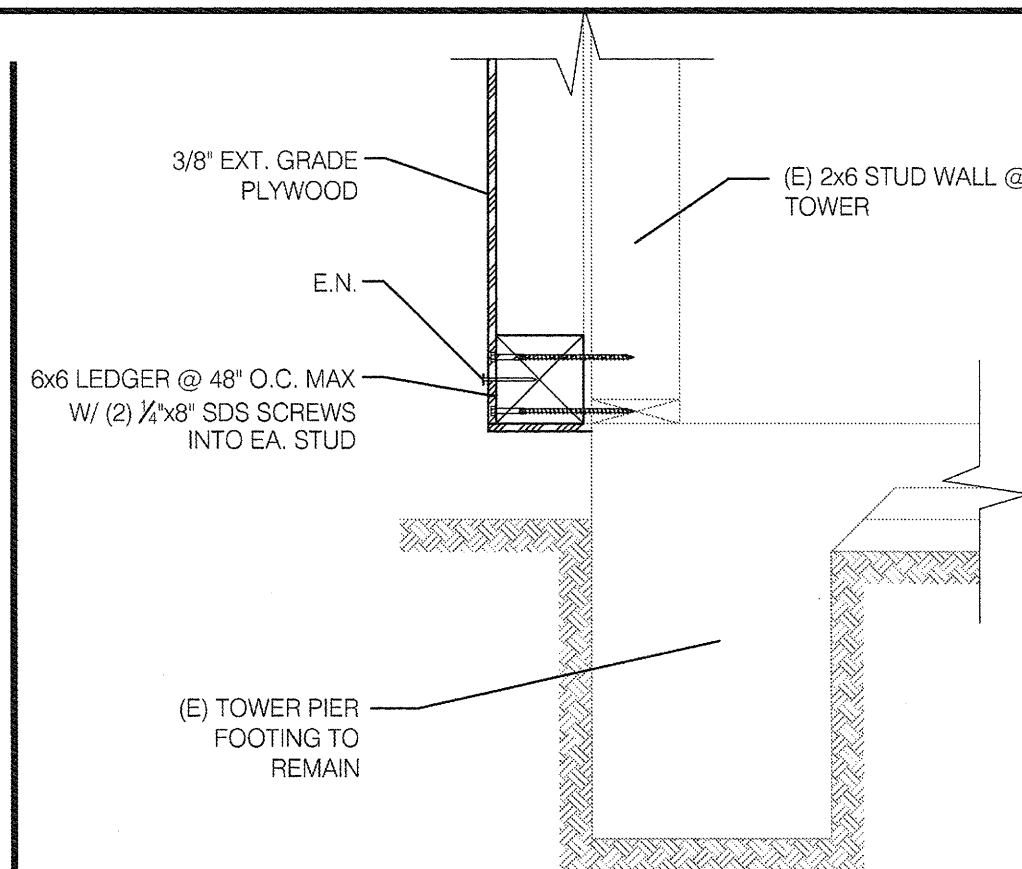
FLOOR PLAN 1/4" = 1'-0" A

- MISCELLANEOUS:**
- DIMENSIONS NOTED ARE TO FACE OF CONCRETE. REFER TO DWG. A1.0 FOR DIMENSIONS TO FACE OF STUD AND OTHER DIMENSIONS NOT OTHERWISE NOTED.
 - DRAWINGS SHALL NOT BE SCALED. ALL DIMENSIONS AND FIT SHALL BE DETERMINED AND VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
 - DETAILS NOT FULLY OR SPECIFICALLY SHOWN SHALL BE OF SAME NATURE AS OTHER SIMILAR CONDITIONS.
 - COORD. FOUNDATION AND SLAB LAYOUT WITH OTHER TRADES PRIOR TO POURING SLAB.
- CONCRETE:**
- CONCRETE SHALL BE HARD ROCK CONC. (5 SACK CEMENT PER CU.YD. MIN.) AND MEET THE FOLLOWING MIN. ULTIMATE COMPRESSIVE STRENGTHS AT 28 DAYS:
- | LOCATION | MIN. STRENGTH | AGGREGATE | SLUMP | TOLERANCE |
|---------------|---------------|---------------|--------|-----------|
| SLAB ON GRADE | 28 DAYS PSI | SIZE - INCHES | INCHES | INCHES |
| FOUNDATIONS | (2500 DESIGN) | 1" x #4 | 3-1/2" | ±1/2" |
| | (2500 DESIGN) | 1" x #4 | 3-1/2" | ±1/2" |
- CONCRETE MIX DESIGN AND TESTING SHALL MEET WITH THESE SPECS. CEMENT SHALL BE IN ACCORDANCE WITH ASTM C 150 TYPE II. VERIFY MIN. CONC. STRENGTH AND CEMENT TYPE.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60. STEEL SHALL BE KEPT CLEAN AND FREE OF RUST.
 - CONCRETE CURING SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF ACI-318-95 SECTION 5.11 AND STANDARD PRACTICE FOR CURING CONCRETE REPORTED BY COMMITTEE 308.
 - ANCHOR BOLTS - A36 OR A307, USE 5/8" DIAMETER x 12" (18" AT CURBS) ANCHOR BOLTS (A.B.) AT 16" O.C. U.O.N. ANCHOR BOLTS SHALL BE TIED IN PLACE PRIOR TO PLACEMENT OF CONC.

- NEW TOWER FOOTING:**
- FOR PILASTER PROPER DOVEL EMBEDMENT MAINTAIN MINIMUM WIDTH OF 12" FOR NEW FOOTING.



NEW FOOTING DETAIL 3/4" = 1'-0" D



(E) FOOTING DETAIL 3/4" = 1'-0" C

- EXISTING 4" THICK SLAB.
- EXISTING 15" WIDE x 18" DEEP CONTINUOUS FOOTING W/ (2) # 5 BARS TOP & BOTTOM
- EXISTING TOWER FOOTING TO REMAIN. SEE DETAIL C/S1.0.
- REAR TOWER WHERE OCCURS.
- EXISTING POST AND PAD FOUNDATION.
- STUD SETBACK 1/2" FROM EDGE OF CONCRETE, TYPICAL.
- NEW FOOTING FOR PILASTER LEGS. SEE DETAIL D/S1.0.
- SEE DETAILS 4/S4.2 AND 8/S4.2 FOR NON-BEARING WALL CONNECTIONS
- SEE 9/S4.2 FOR WALL SHEATHING AND SHEARWALL SCHEDULE

KEY NOTES B

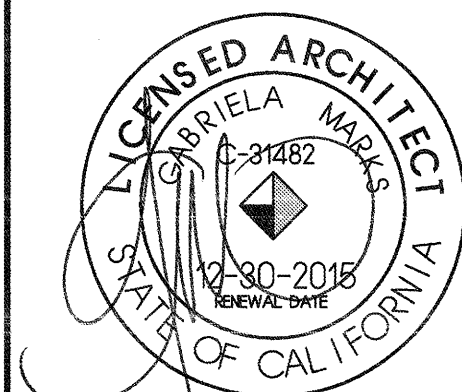
FOUNDATION NOTES E



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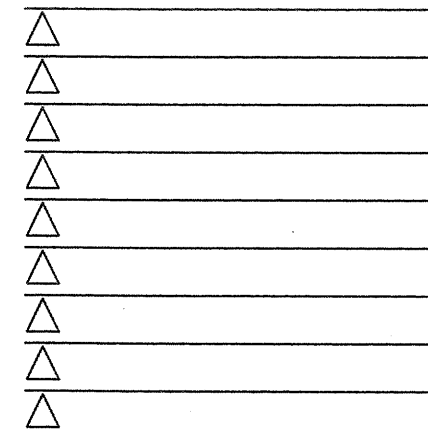
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BUILDING DEPT. SUBMITTAL 8.6.15



CONTRACT DATE:
BUILDING TYPE: M70HD
PLAN VERSION: MAR 2014
SITE NUMBER:
STORE NUMBER: 019515

TACO BELL

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STRUCTURAL PLAN

S1.0

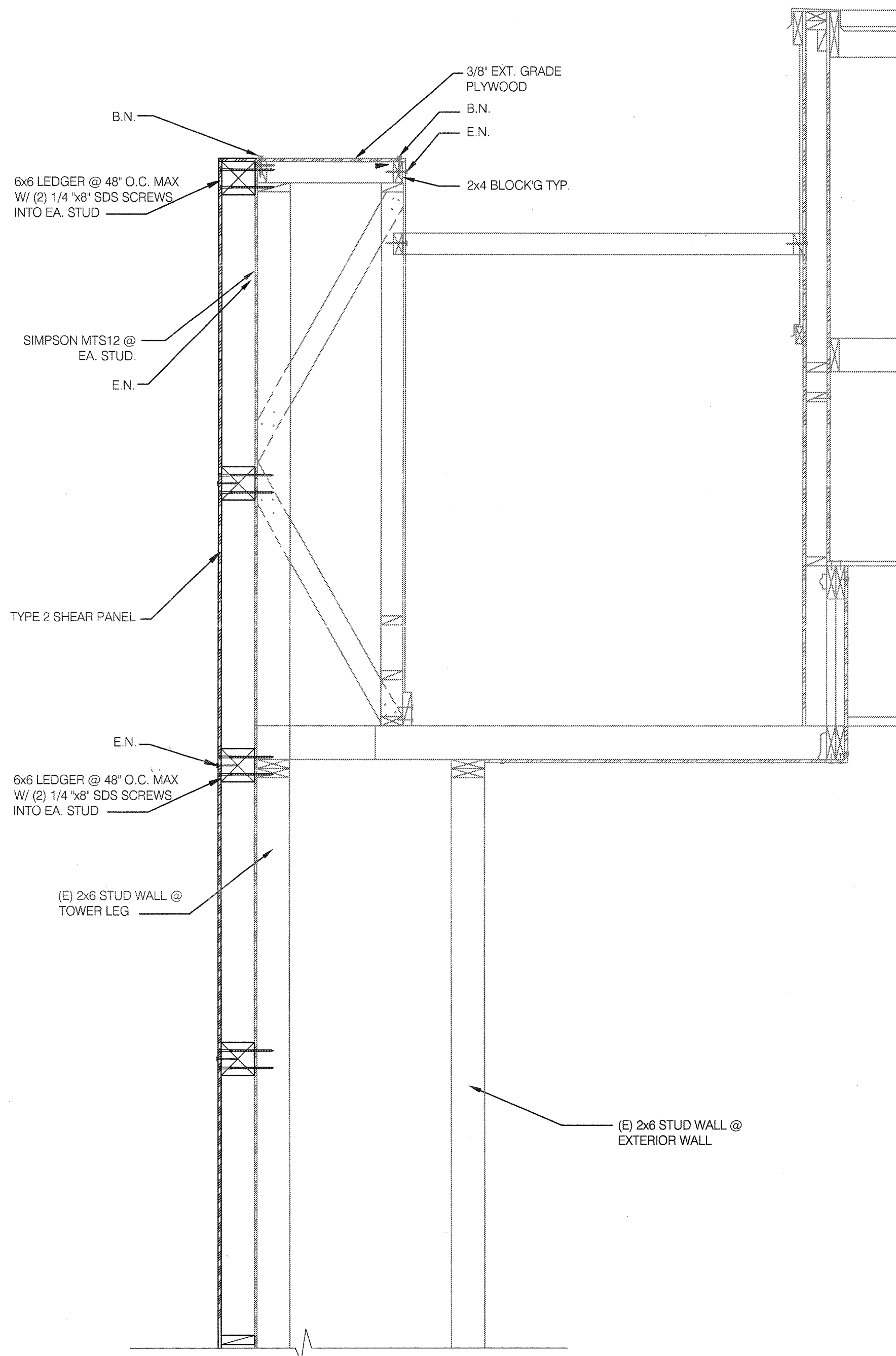
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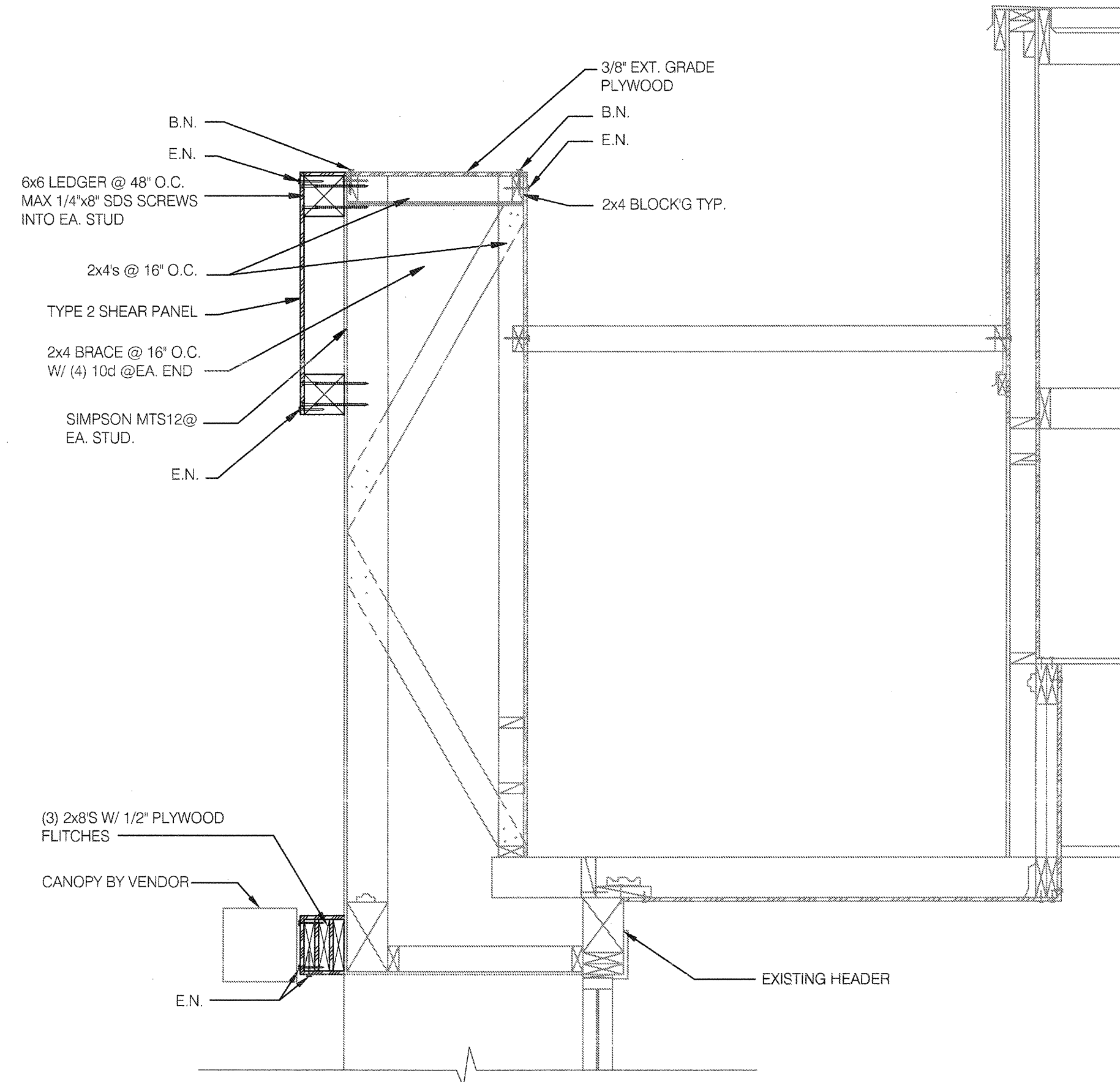
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TYP. TOWER SECTION @ LEG 3/4" = 1'-0" 11

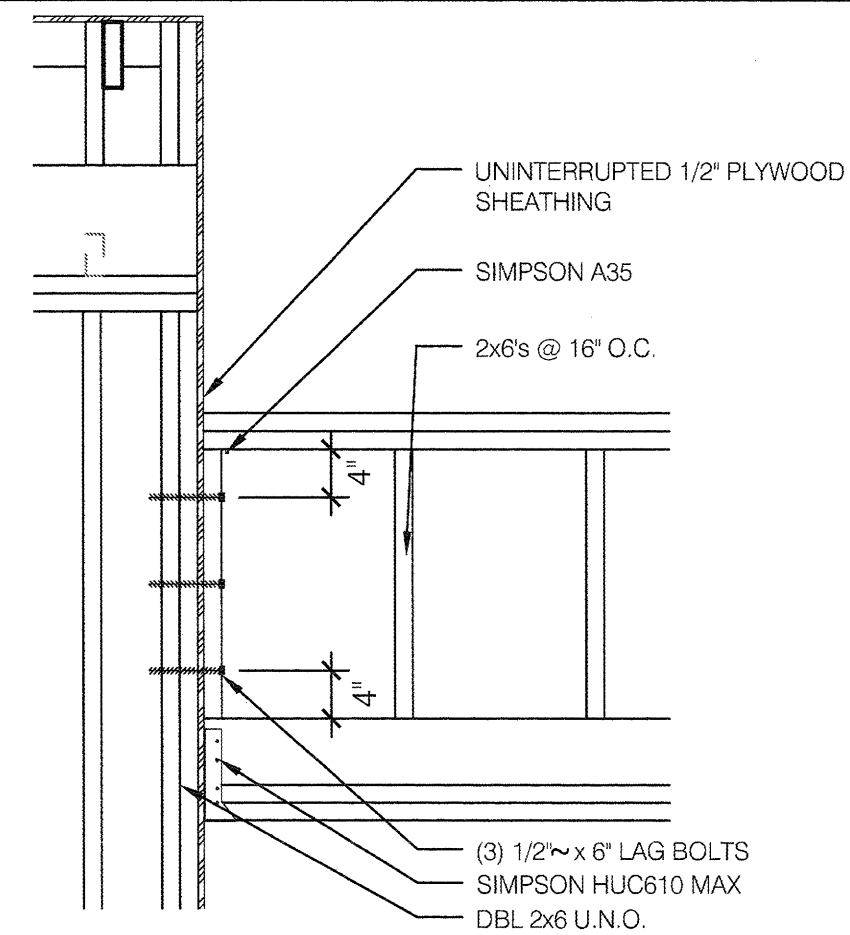
NOT USED 16

NOT USED 12

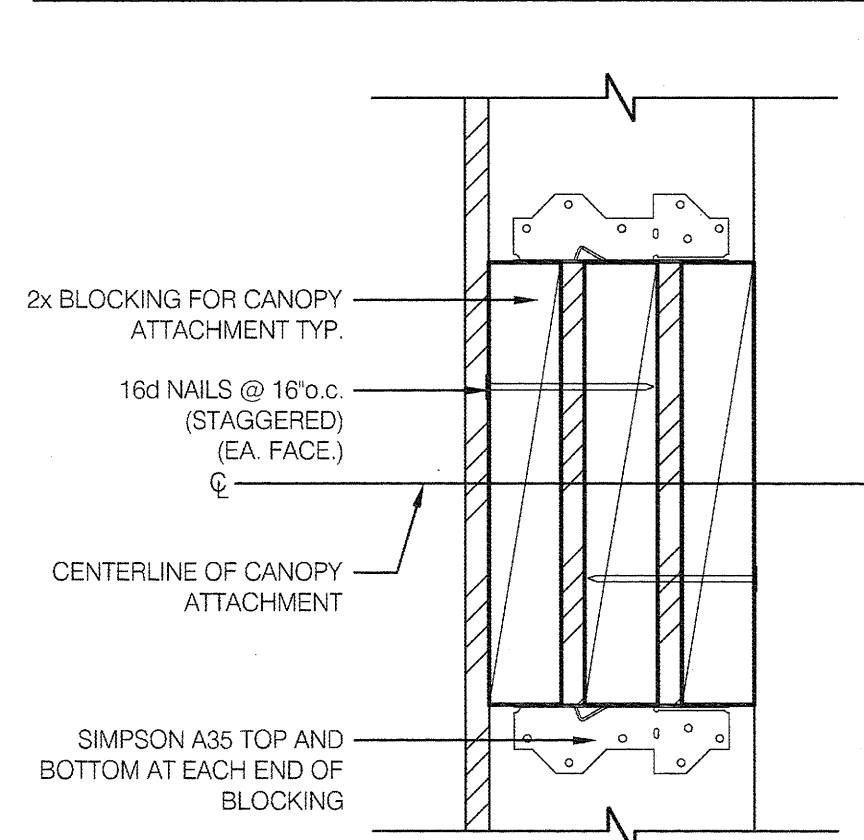


TYP. TOWER SECTION 3/4" = 1'-0" 2

NOT USED 7



BEAM ATTACHMENT DETAIL 3/4" = 1'-0" 8



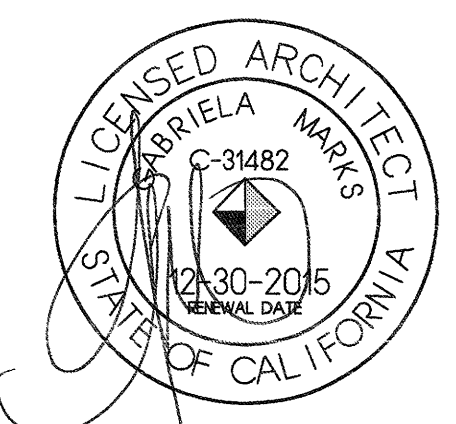
CANOPY BLOCKING DETAIL 3" = 1'-0" 4

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**STRUCTURAL
DETAILS
FRONT TOWER**

S4.1

PLOT DATE:

SW	SHEATHING	EDGE	FIELD	PLATE / ANCHOR BOLT	REMARKS
▶	1/2" CDX STRUC II PLYWD (32/16)	10d @ 4" O.C.	10d @ 12" O.C.	5/8" DIA. @ 32" O.C.	
▶	1/2" CDX STRUC II PLYWD (32/16)	10d @ 6" O.C.	10d @ 12" O.C.	5/8" DIA. @ 32" O.C.	
***	1/2" CDX PLYWD (32/16), PS1 RATING	10d @ 6" O.C.	10d @ 12" O.C.	5/8" DIA. A307 (8x3) @ 32" O.C. W/ WASHER	NAILING @ HEADERS PER DETAILS

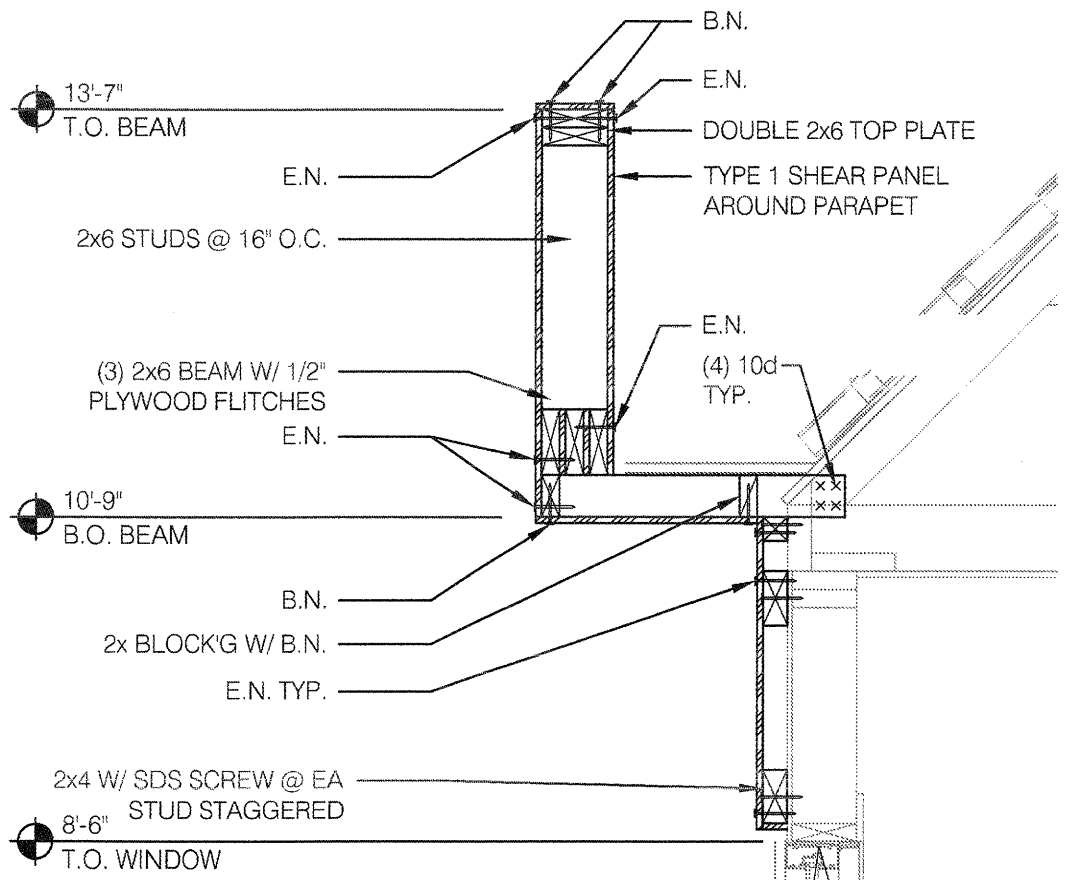
*** REQUIREMENTS FOR EXTERIOR NON-SHEARWALL WALLS

- OSB OF COMPARABLE THICKNESS MAY BE USED IN LIEU OF PLYWOOD WHEN APPROVED IN WRITING BY THE PROJECT ENGINEER AND THE LOCAL JURISDICTION.
- BLOCK ALL UNSUPPORTED EDGES WITH 2x MATERIAL U.O.N. BLOCK EDGES WITH 3x MATERIAL WHERE 10d NAILING IS 3" O.C. OR LESS AND 8d NAILING IS 2" O.C. OR LESS.
- ALL PLYWOOD NAILS SHALL BE COMMON WIRE. SEE SPECIFICATIONS FOR OTHER NAIL REQUIREMENTS.
- EXTERIOR WALLS NOT DESIGNATED AS SHEARWALLS IN THE WALL FRAMING PLAN SHALL MEET REQUIREMENTS INDICATED FOR NON-SHEARWALL WALLS IN THE SCHEDULE ABOVE.
- SHEARWALL LENGTHS WHERE NOTED ARE MINIMUM. DO NOT LOCATE HOLDDOWNS FROM THESE DIMENSIONS. SEE ARCH DWGS FOR ACTUAL WALL LENGTHS.
- HD REFERS TO SIMPSON STRONGTIE CO. HOLDDOWNS. INSTALL PER 16/S4.0. POST WIDTH SHALL MATCH STUD WALL WIDTH. SEE FOUNDATION PLAN FOR OTHER REQ'S.
- EDGE NAIL WALL PLY TO STUDS OR POSTS WITH HOLD-DOWNS.
- WHERE PANELS ARE APPLIED TO BOTH FACES OF A WALL AND NAIL SPACING IS LESS THAN 6" O.C. ON EITHER SIDE, PANEL JOINTS SHALL BE OFFSET TO WALL ON DIFFERENT FRAMING MEMBERS OR FRAMING SHALL BE 3x OR THICKER AND NAILS ON EACH SIDE SHALL BE STAGGERED.

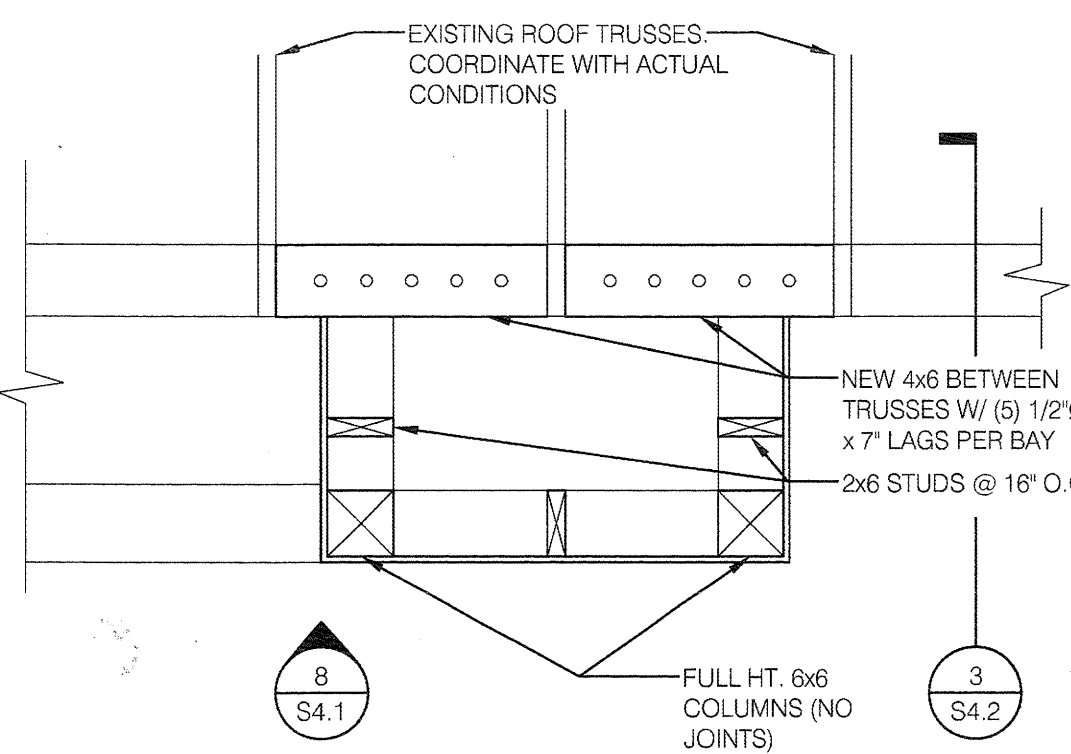
WALL SHEATHING AND SHEARWALL SCHEDULE

9

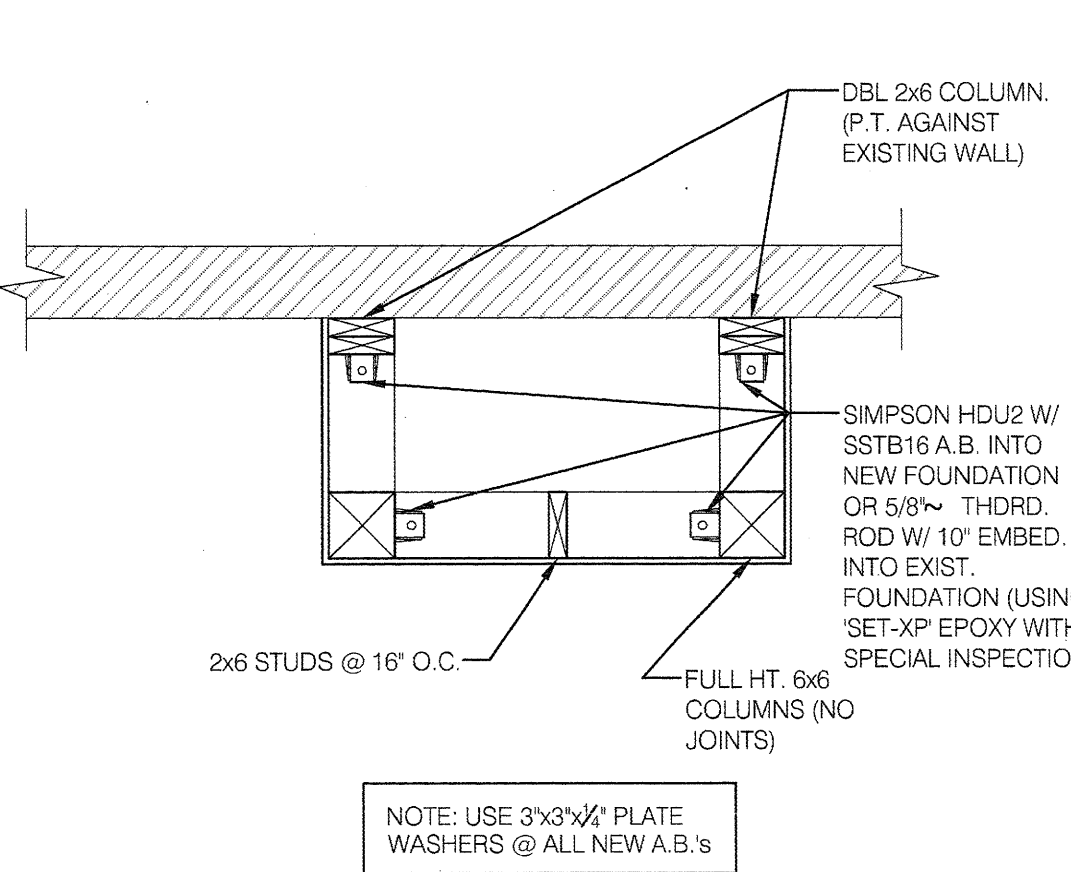
NOT USED N.T.S. 17



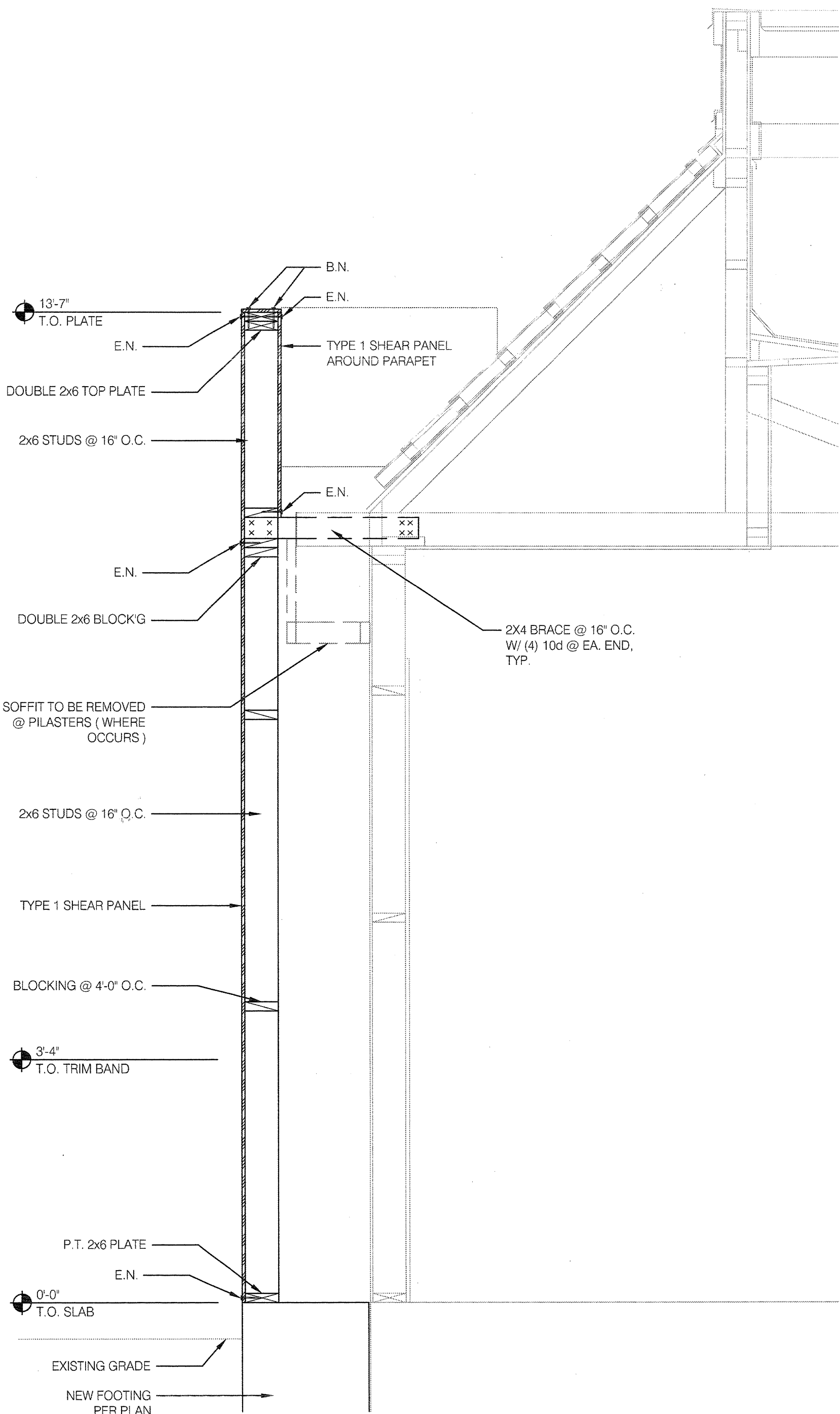
BEAM DETAIL 3/4" = 1'-0" 18



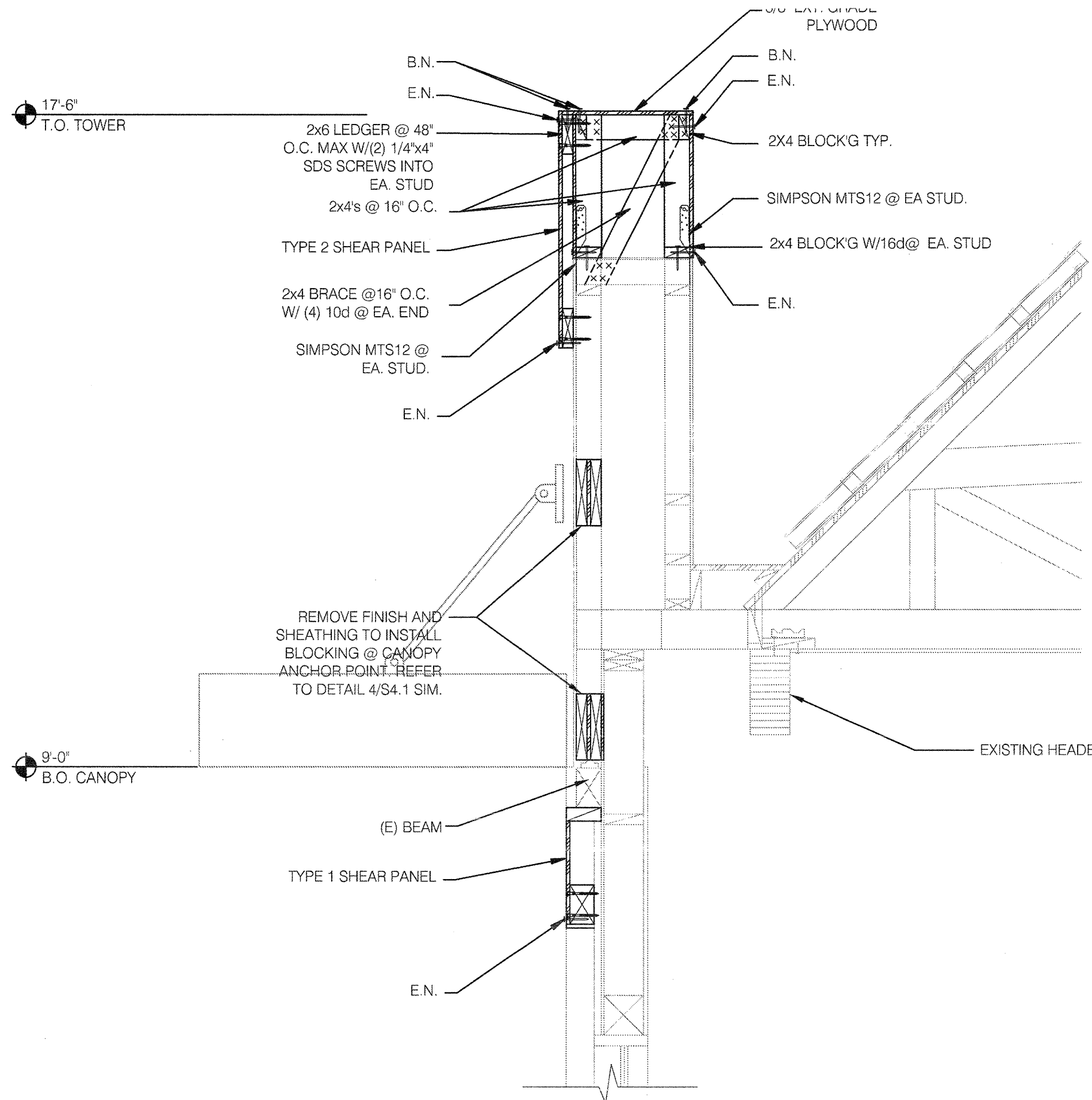
PILASTER PLAN 3/4" = 1'-0" 19



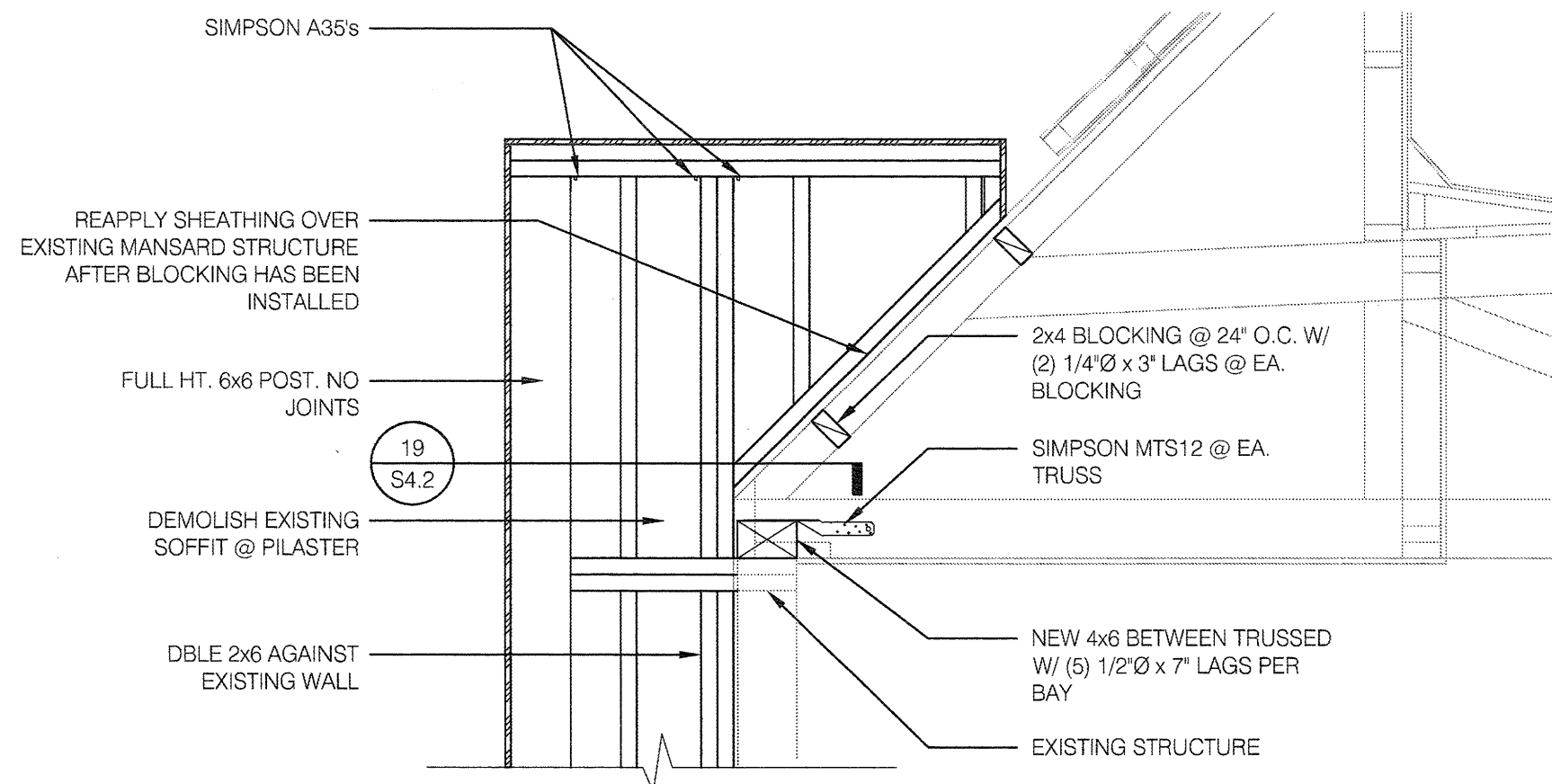
PILASTER FOUNDATION PLAN 3/4" = 1'-0" 20



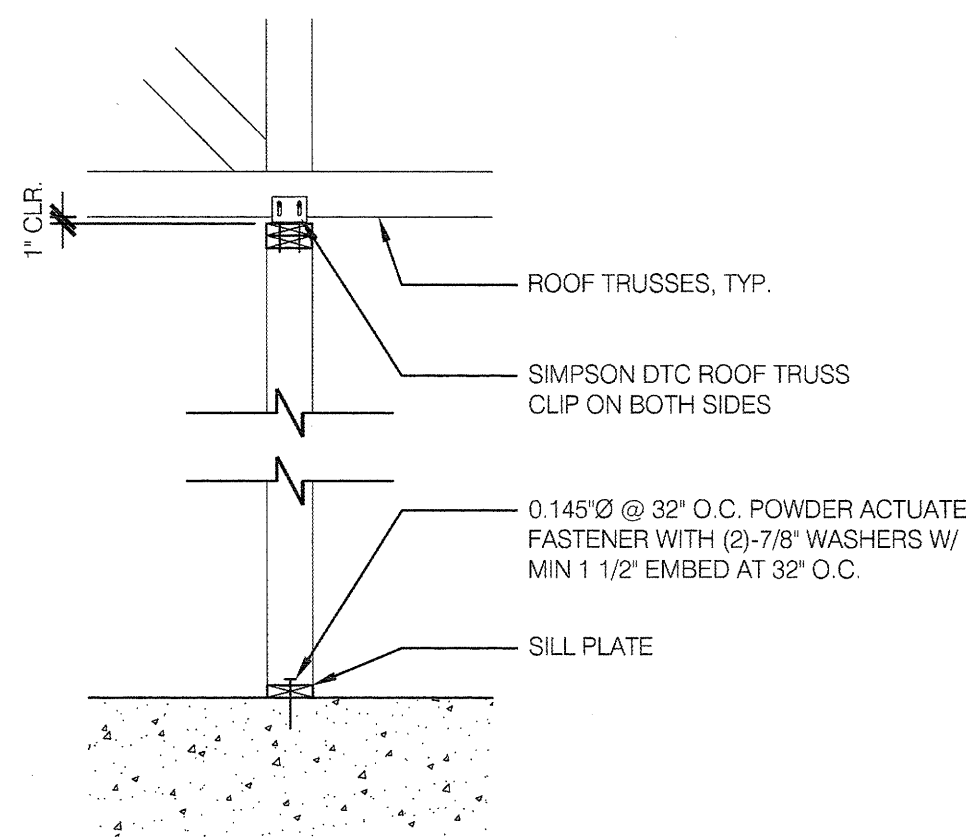
PILASTER LEG SECTION 1/2" = 1'-0" 12



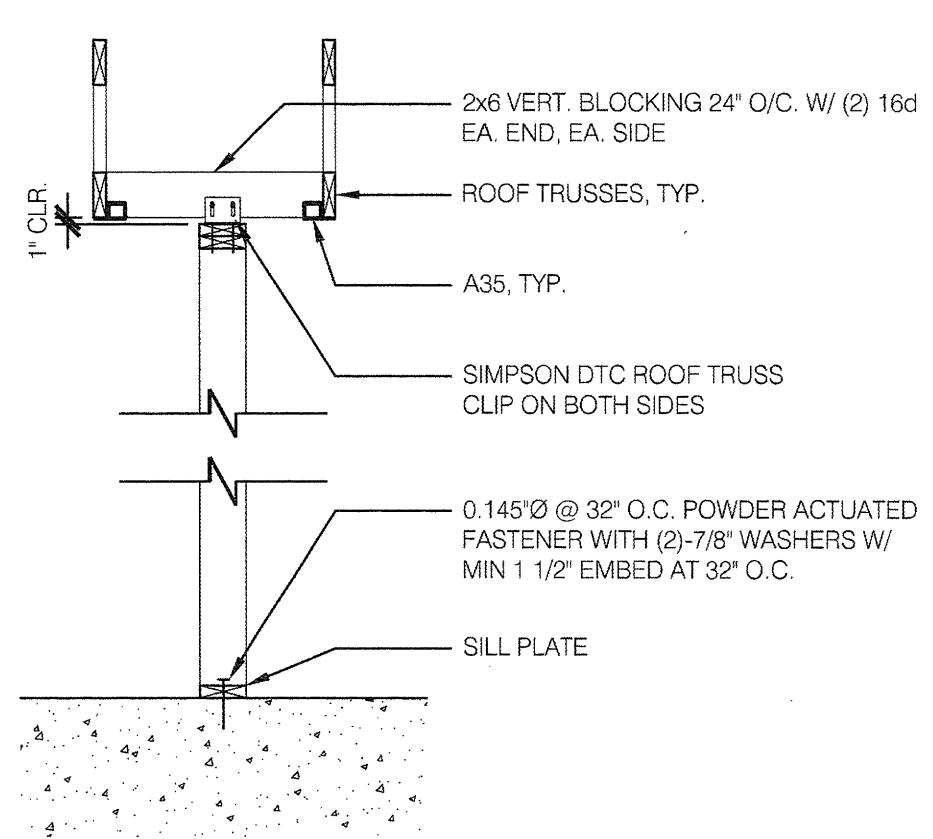
DRIVE THRU TOWER SECTION 3/4" = 1'-0" 2



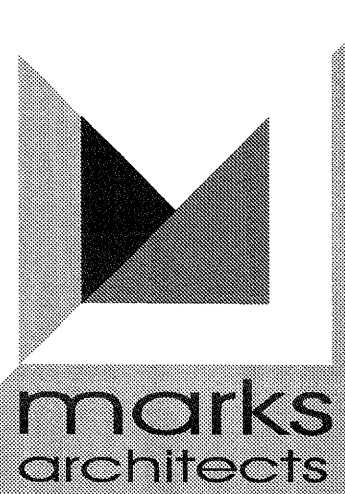
SECTION @ PILASTER 3/4" = 1'-0" 3



SUPPORT PERP. TO TRUSS 1/2" = 1'-0" 8

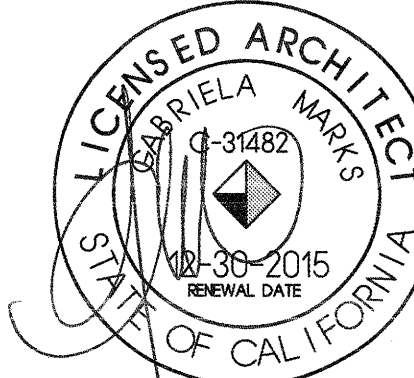


SUPPORT- PARALLEL TO TRUSS 1/2" = 1'-0" 4



architecture
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marks architects 2015
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BUILDING DEPT. SUBMITTAL	8.6.15
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△	

CONTRACT DATE:
BUILDING TYPE: M70HD
PLAN VERSION: MAR 2014
SITE NUMBER:
STORE NUMBER: 019515

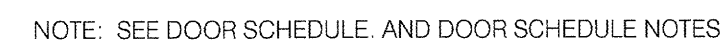
TACO BELL
3690 STEVENS CREEK BLVD
SAN JOSE, CA 95117



STRUCTURAL
DETAILS
FRONT TOWER

S4.2

PLOT DATE:

NUMBER OF ACCESSIBLE SEATS

COAT HOOK	N.T.S.	20
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DINING ROOM SEATING CLEARANCES	N.T.S.	8
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| GENERAL NOTES | 4 |
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